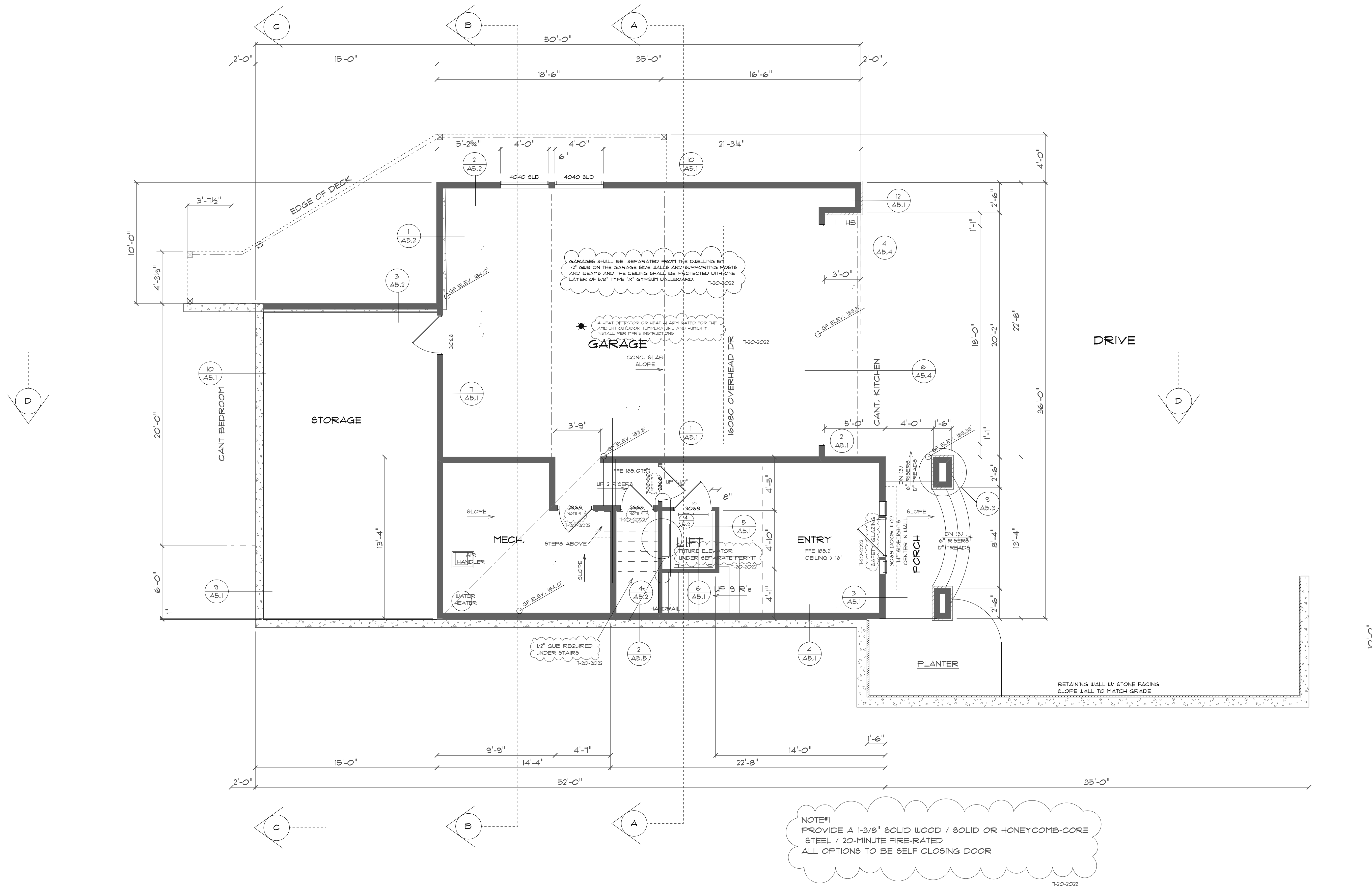


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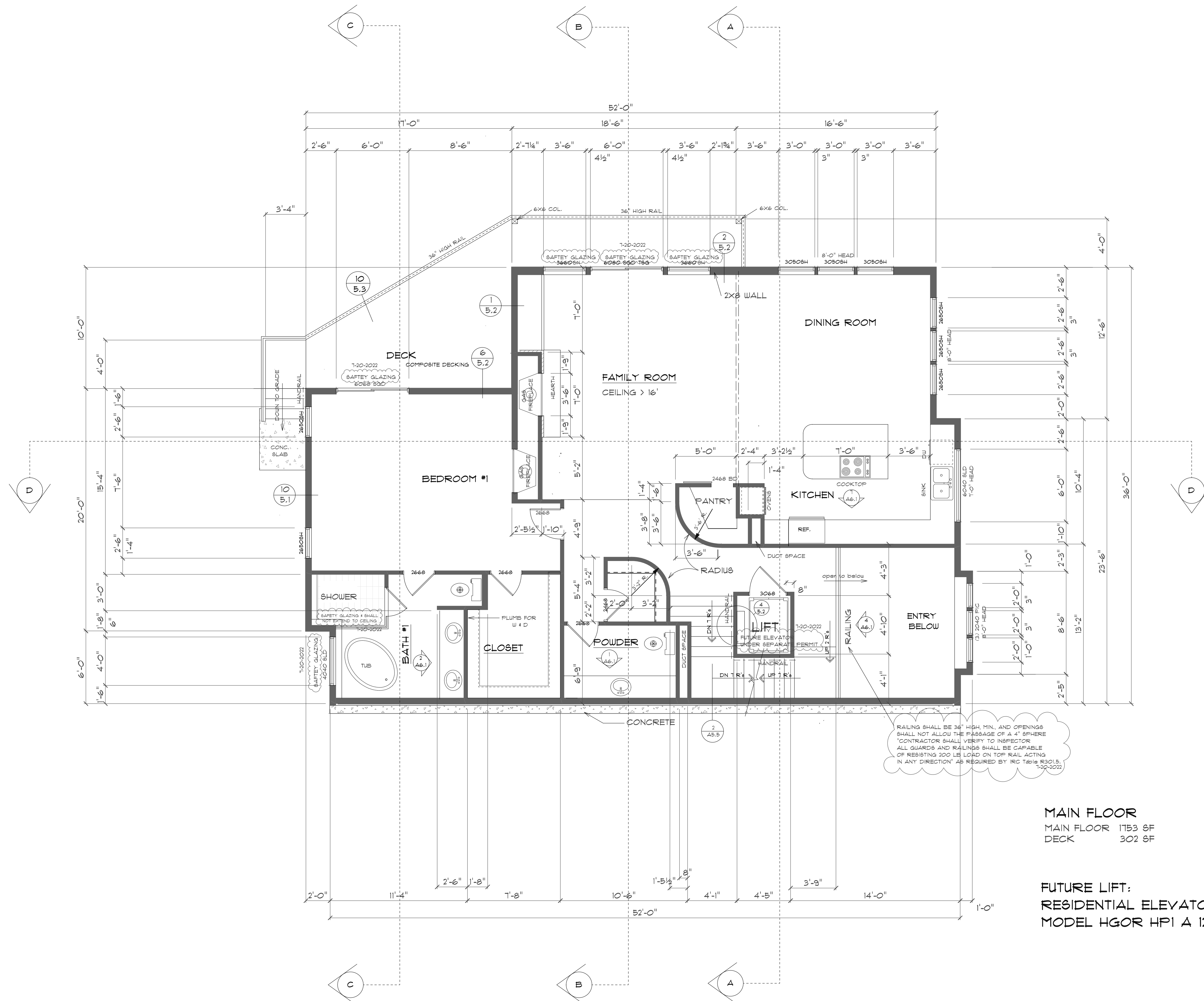


NOTE:
 PROVIDE A 1-3/8" SOLID WOOD / SOLID OR HONEYCOMB-CORE
 STEEL / 20-MINUTE FIRE-RATED
 ALL OPTIONS TO BE SELF CLOSING DOOR

BASEMENT FLOOR

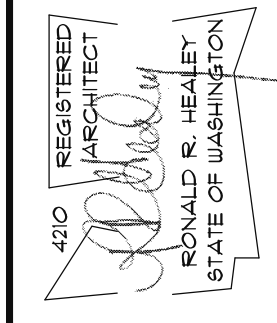
LIVING	273 SF
GARAGE	958 SF
STORAGE	390 SF
TOTAL	1621 SF
PORCH	73 SF
BUILDING FOOTPRINT	1694 SF

4-1-2023 REVISED FOR FULL BASEMENT



MAIN FLOOR
 MAIN FLOOR 1753 SF
 DECK 302 SF

FUTURE LIFT:
 RESIDENTIAL ELEVATORS
 MODEL HGOR HPI A 12



THE HEALEY ALLIANCE AZ
 2505 N 195th DRIVE, SUITE 600, EVERETT, WA 98203 • (425) 444-6768
ARCHITECTS

MI Treehouse, LLC,
 5637 EAST MERCER WAY
 MERCER ISLAND, WA.

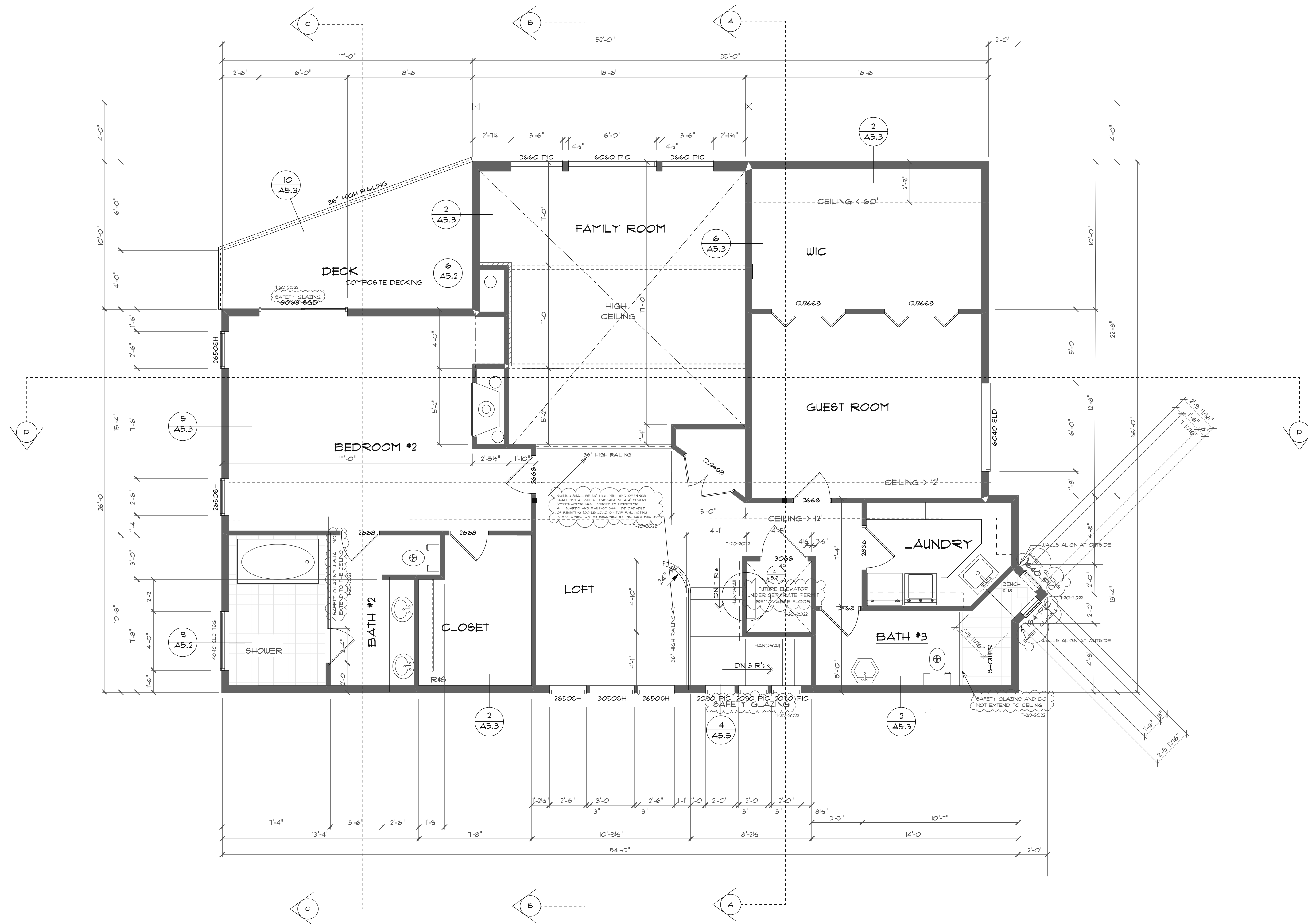
MAIN FLOOR PLAN

SCALE 1/4" = 1'-0"

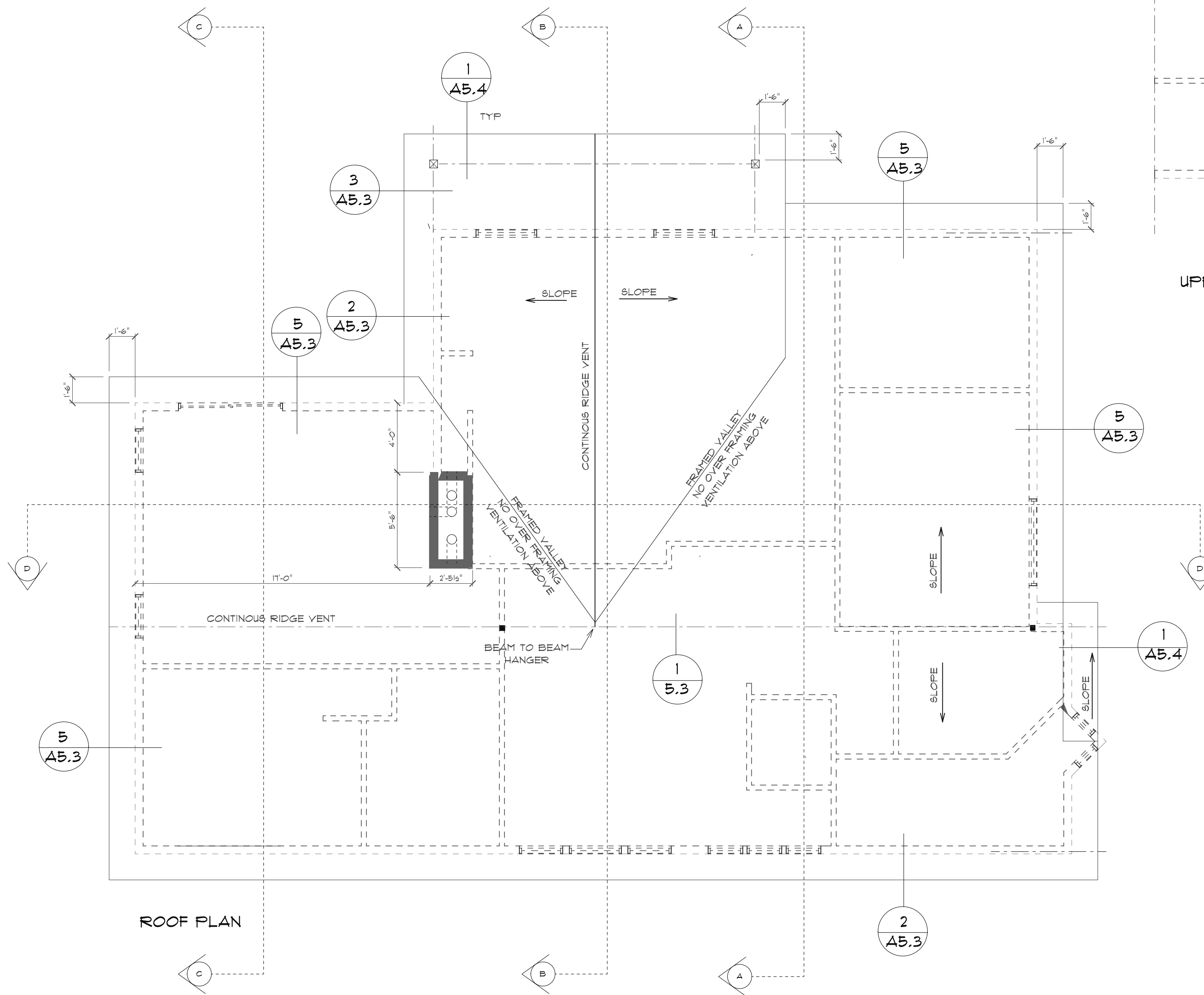
DATE
 4-13-2022
 10-5-2022

PROJECT NO.
 001

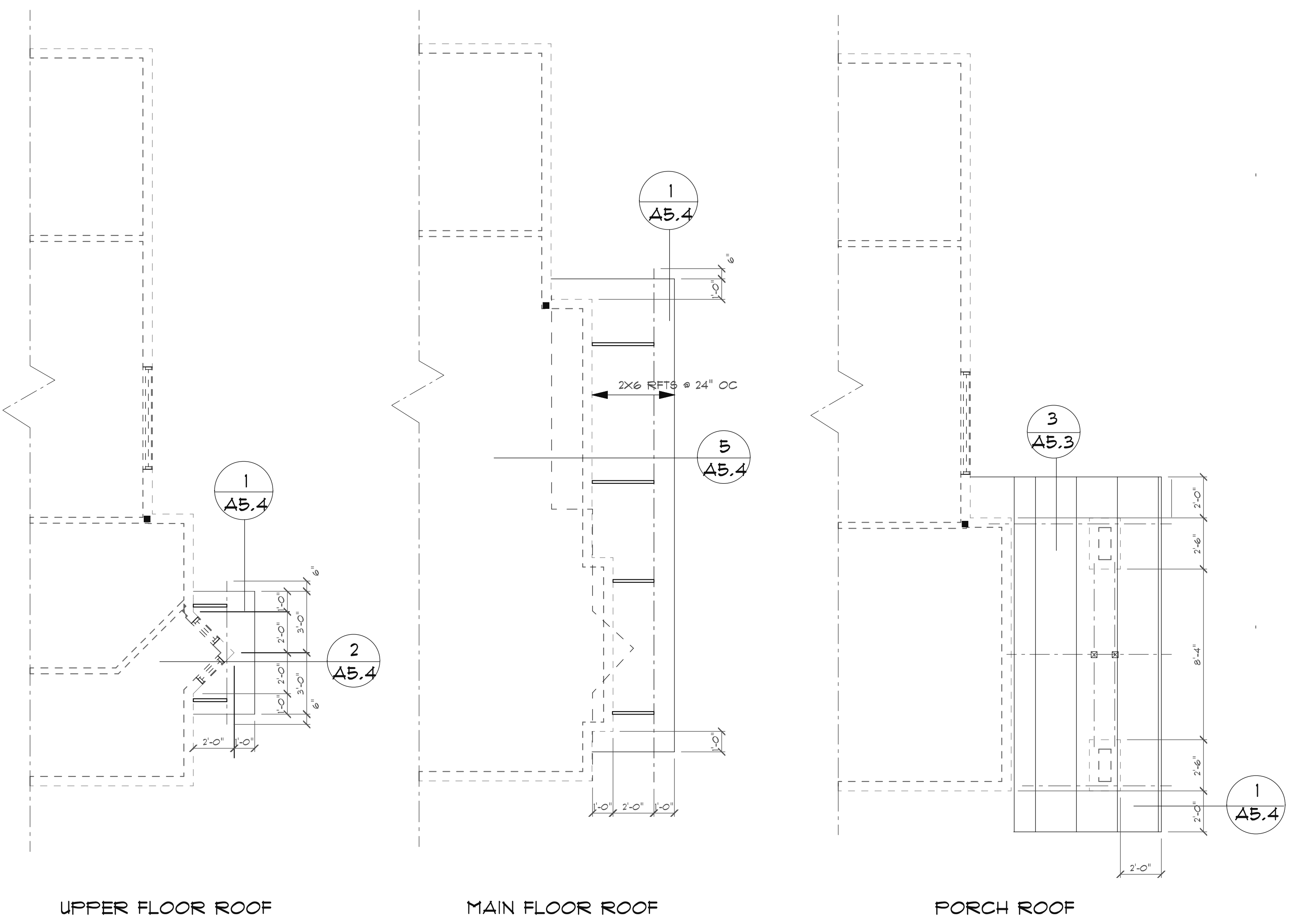
SHEET NO.
A2.2



UPPER FLOOR 1345 SF
 DECK 119 SF



ROOF PLAN



UPPER FLOOR ROOF

MAIN FLOOR ROOF

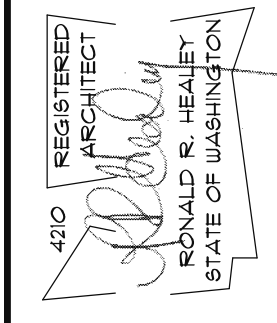
PORCH ROOF

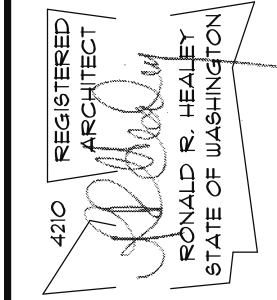
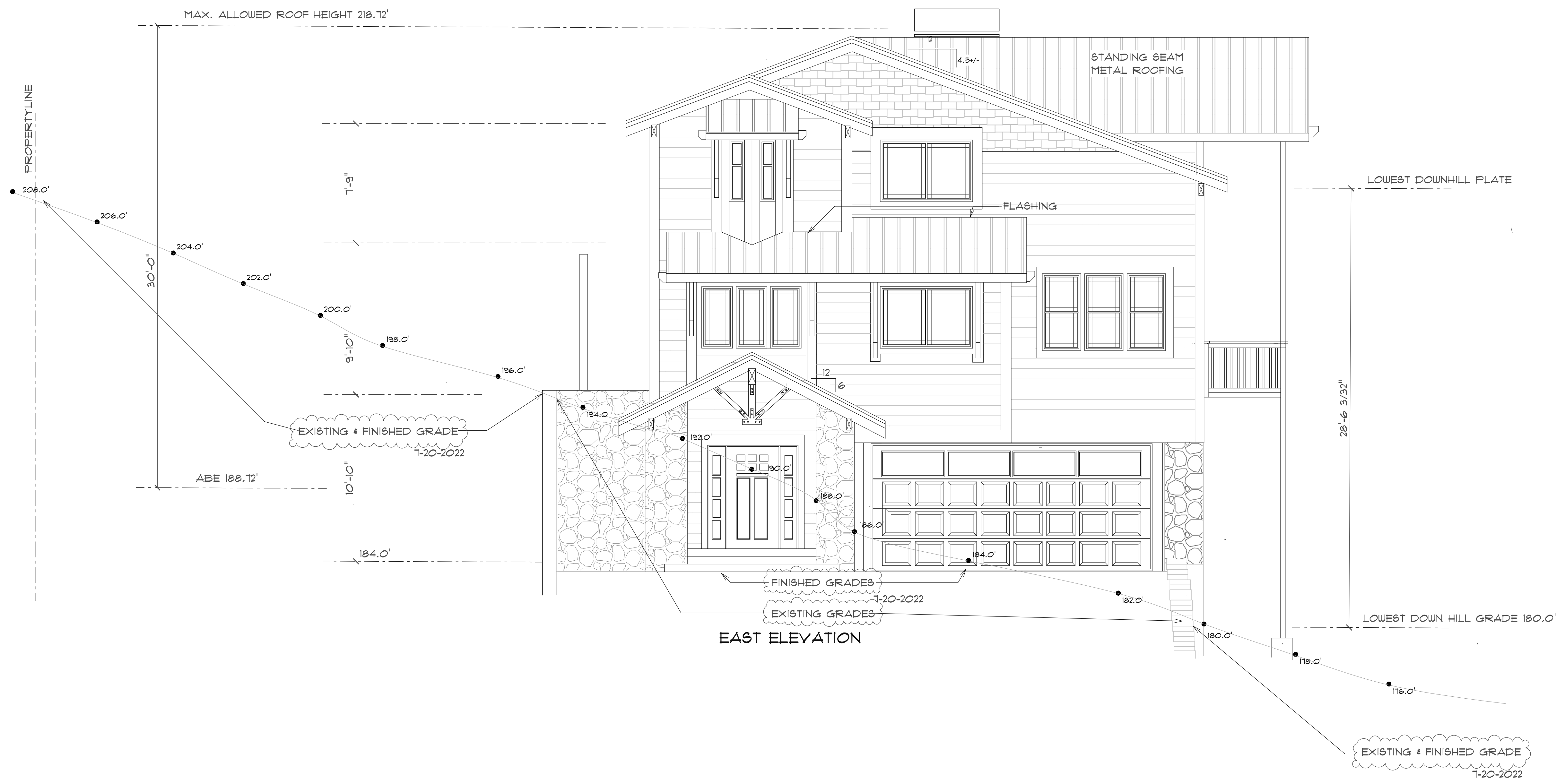
ROOF VENTILATION

TYPICAL EACH RAFTER BAY	44 SQ.FT. (2' X 22' X 44 SF)
MAX. RAFTER BAY AREA:	
VENT AREA REQ'D:	21 SQ.IN.
VENT BLOCKS:	10 SQ.IN.
CONTINUOUS RIDGE VENT:	
(18) 18 SQ.IN. / FT.	36 SQ.IN.
TOTAL	46 SQ.IN.

VENT BLOCKS (3) 2" dia. HOLES

☒ ROOF JACK 48 SQ. IN. EACH





THE HEALEY ALLIANCE AZ
 2509 N 195th DRIVE, SUITE 100, EVERETT, WA 98203 • (425) 444-2768
ARCHITECTS

MI Treehouse, LLC,
 5637 EAST MERCER WAY
 MERCER ISLAND, WA.

EAST ELEVATIONS

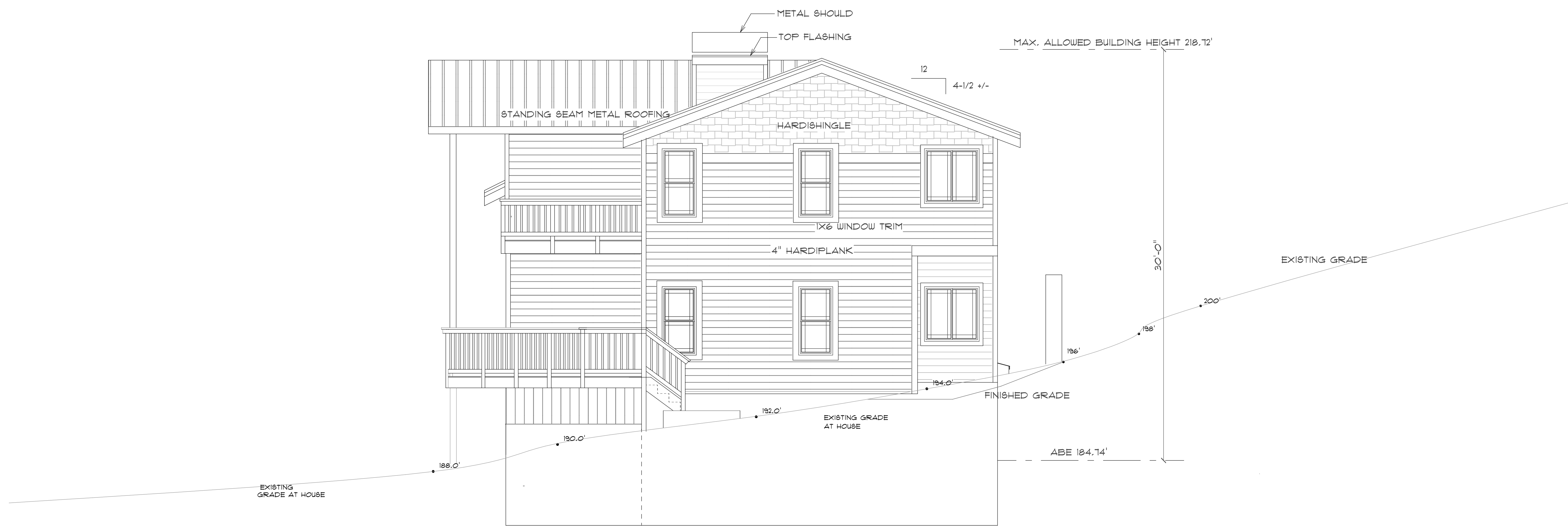
SCALE 1/4" = 1'-0"

DATE
 4-13-2022
 10-5-2022

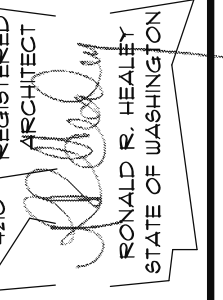
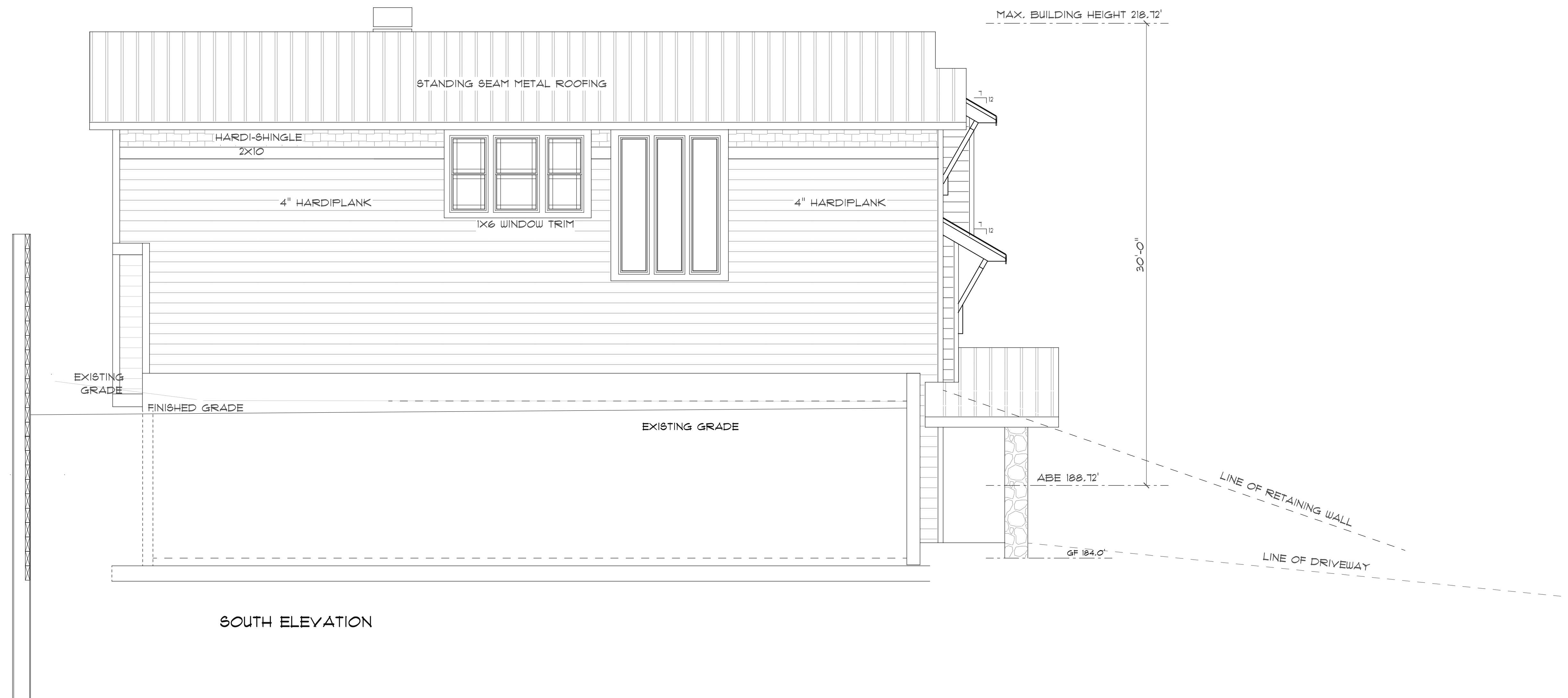
PROJECT NO.
 001

SHEET NO.

A3.1



WEST ELEVATION



THE HEALEY ALLIANCE AZ
 2505 N 195th DRIVE, SUITE 100, WA
 (425) 444-2768
ARCHITECTS

M1 Treehouse, LLC,
 5631 EAST MERCER WAY
 MERCER ISLAND, WA.

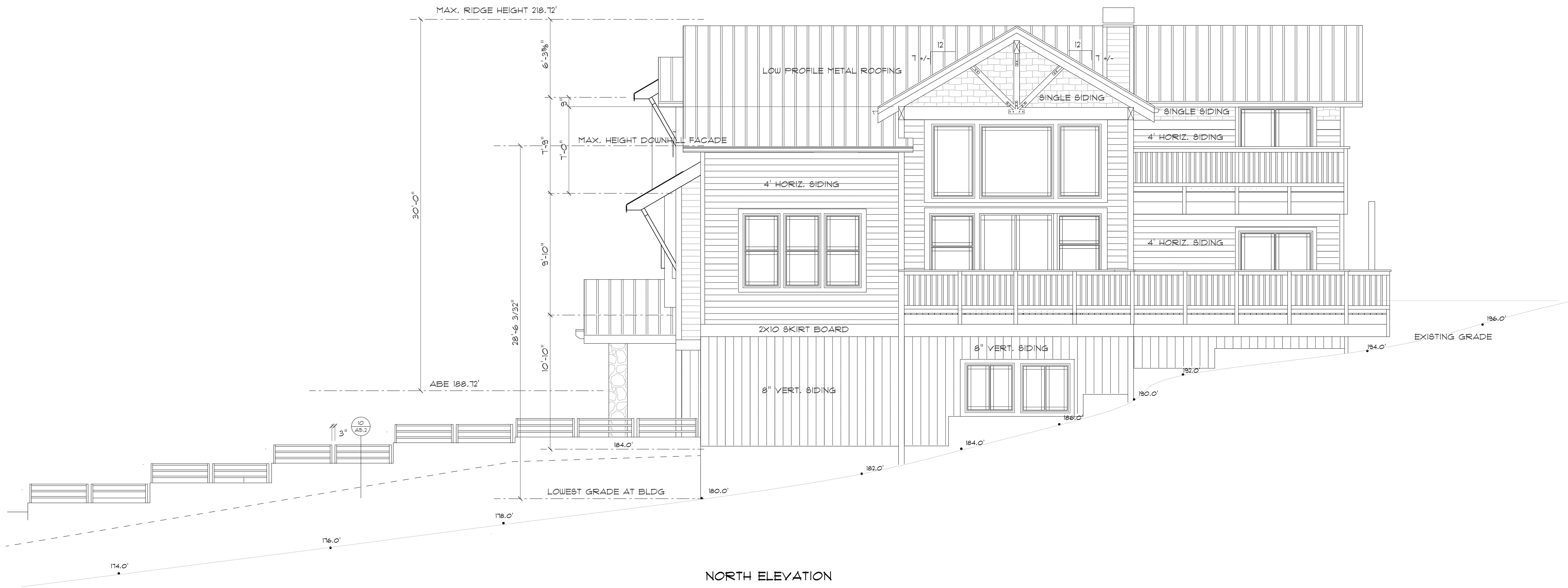
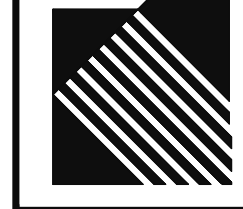
SOUTH ELEVATIONS
 SCALE 1/4" = 1'-0"

DATE 04-13-2022
 10-5-2022
 4-1-2023

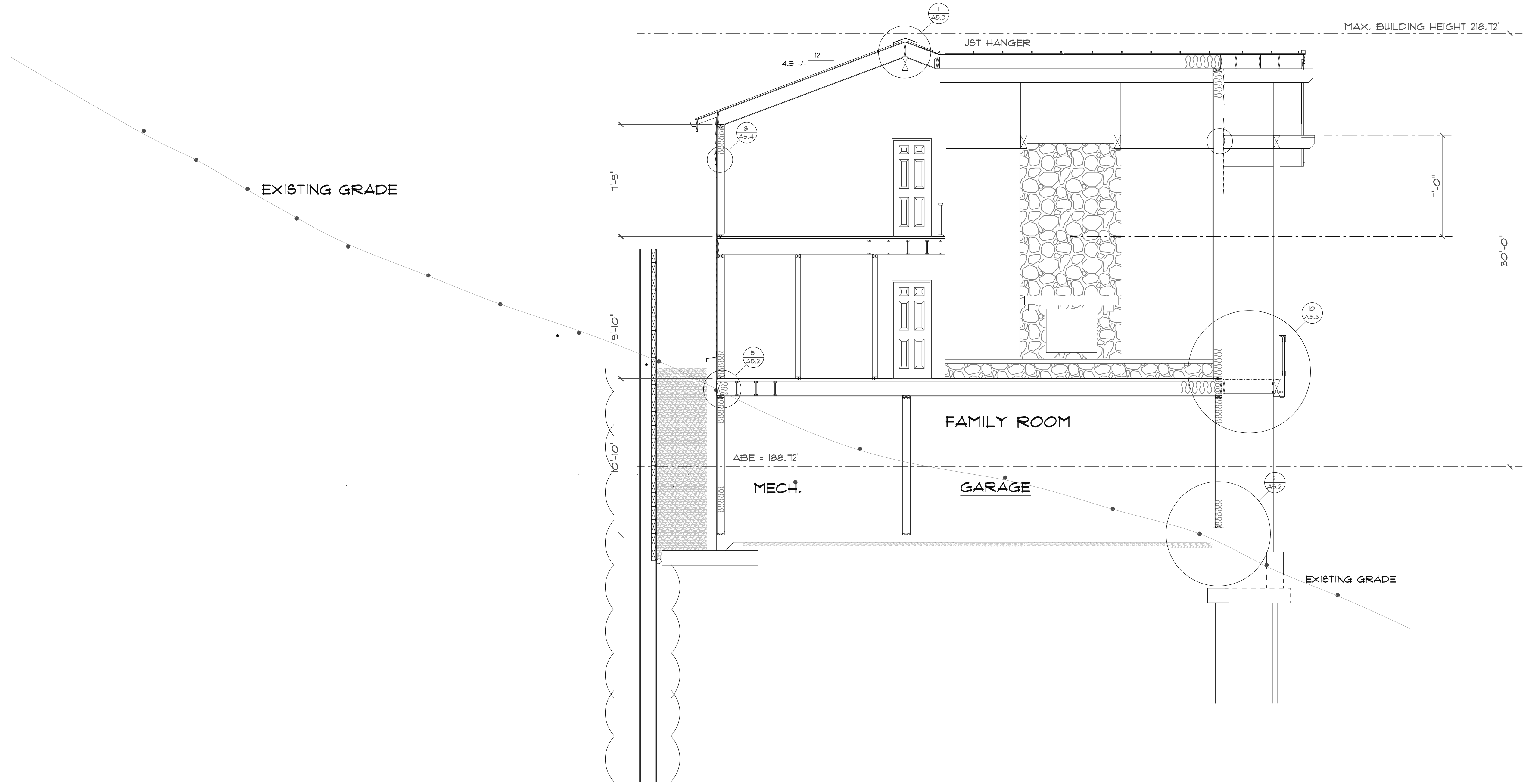
PROJECT NO.
 001
 SHEET NO.

A3.3

4-1-2023 REVISED FOR FULL BASEMENT



NORTH ELEVATION



REGISTERED ARCHITECT
 RONALD R. HEALEY
 STATE OF WASHINGTON
 THE HEALEY ALLIANCE AZ
 2808 N 138TH DRIVE, SUITE 100, WASH STATE, WA 98058
 (425) 444-6768
ARCHITECTS

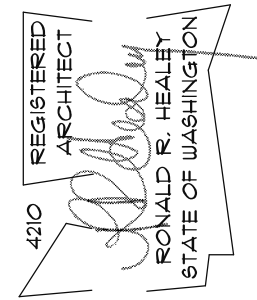
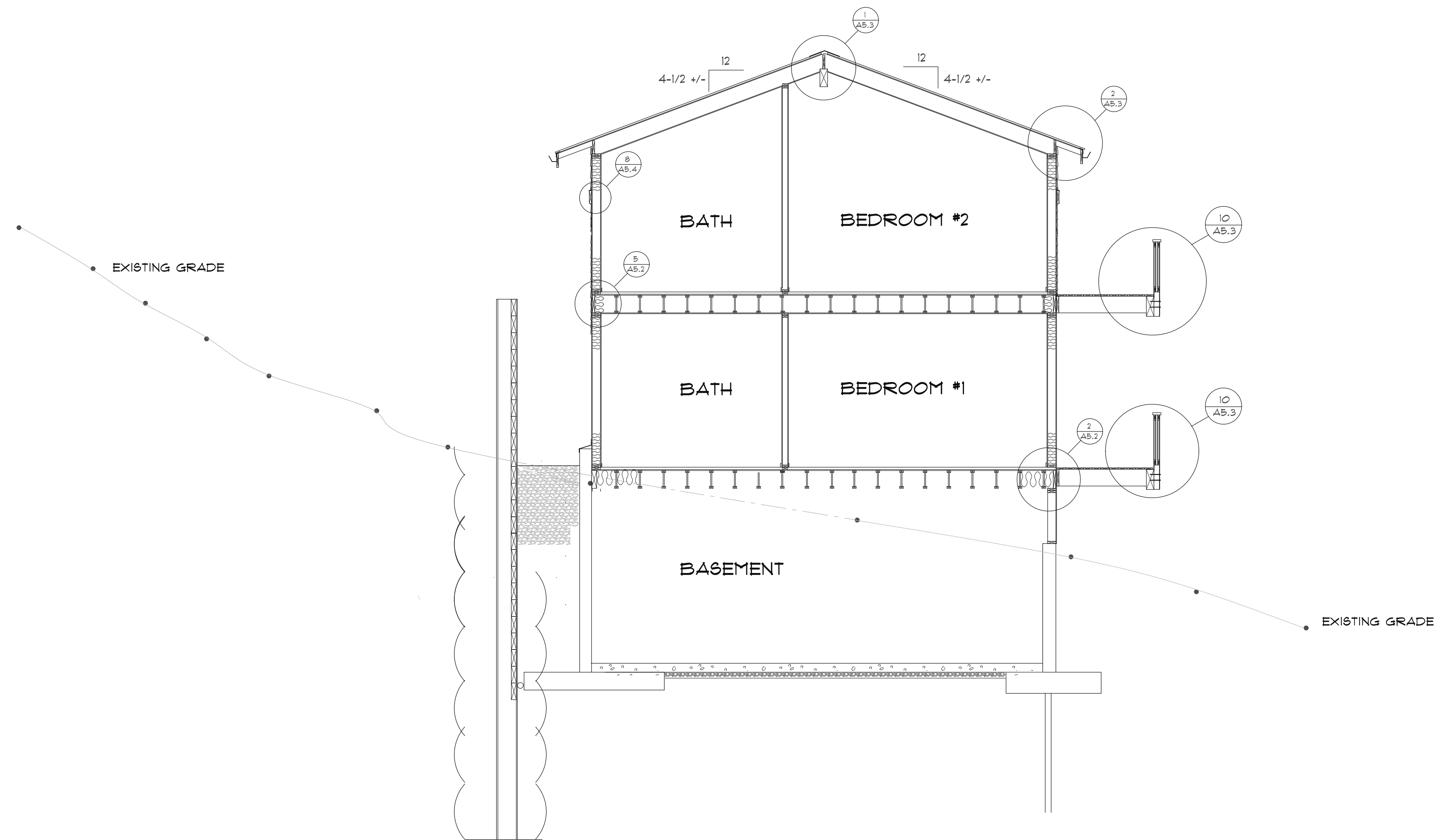
M1 Treehouse, LLC,
 5631 EAST MERCER WAY
 MERCER ISLAND, WA.

SECTION "B-B"
 SCALE 1/4" = 1'-0"

DATE
 04-13-2022
 10-5-2022

PROJECT NO.
 001

SHEET NO.
A4.2



THE HEALEY ALLIANCE AZ
 2508 N 135th DRIVE, GODOYEAR, AZ, 85338 • (480) 444-6768
 ARCHITECTS

MI Treehouse, LLC,
 5637 EAST MERCER WAY
 MERCER ISLAND, WA.

SECTION "C-C"
 SCALE 1/4" = 1'-0"

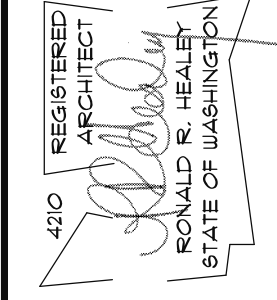
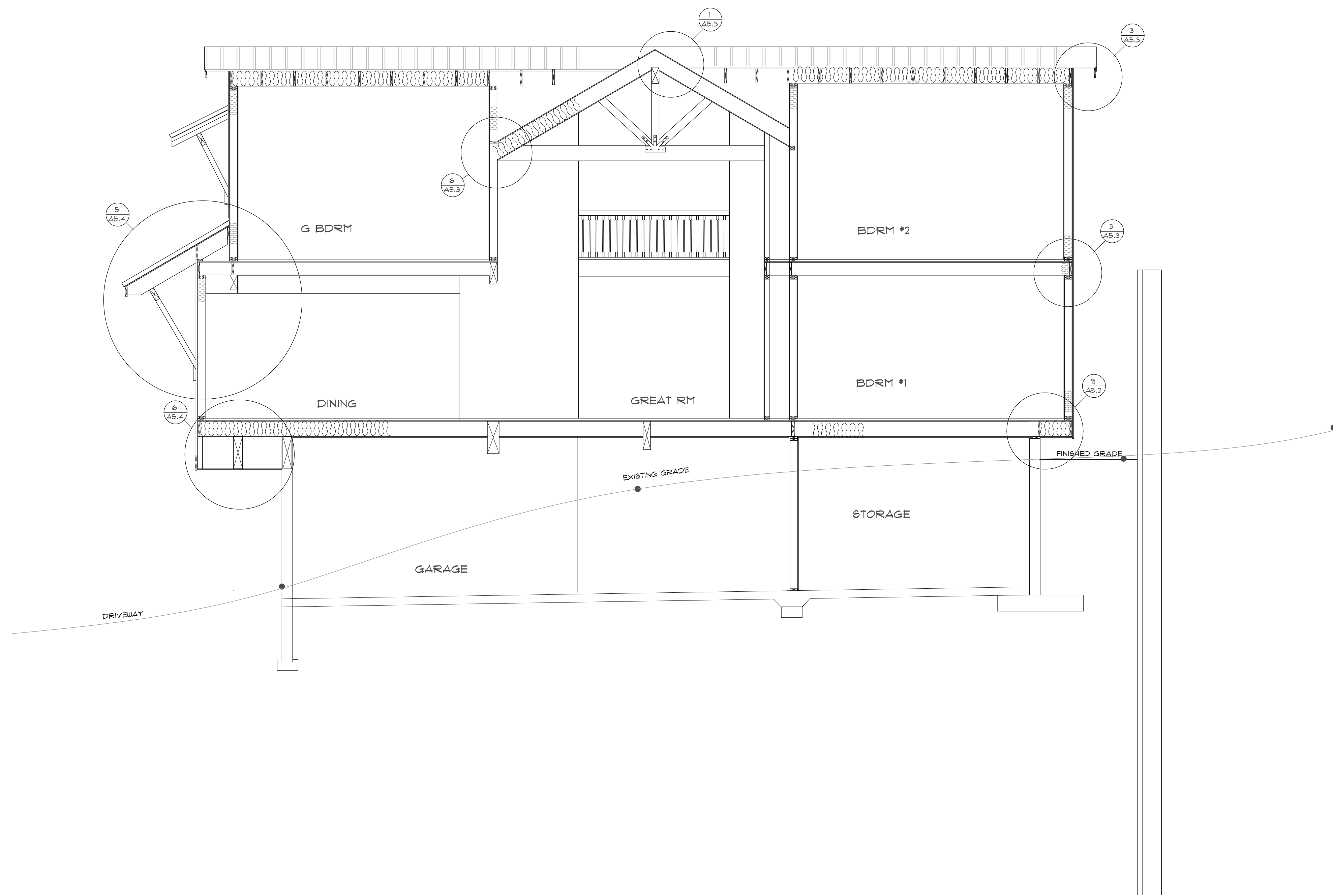
DATE
 4-13-2022
 10-5-2022

PROJECT NO.
 001

SHEET NO.

A4.3

4-1-2023 REVISED FOR FULL BASEMENT



THE HEALEY ALLIANCE AZ
 2505 N 135th DRIVE, GIGHEAR, AZ 85535 • (480) 444-6788
ARCHITECTS

Mi Treehouse, LLC,
 5631 EAST MERCER WAY
 MERCER ISLAND, WA.

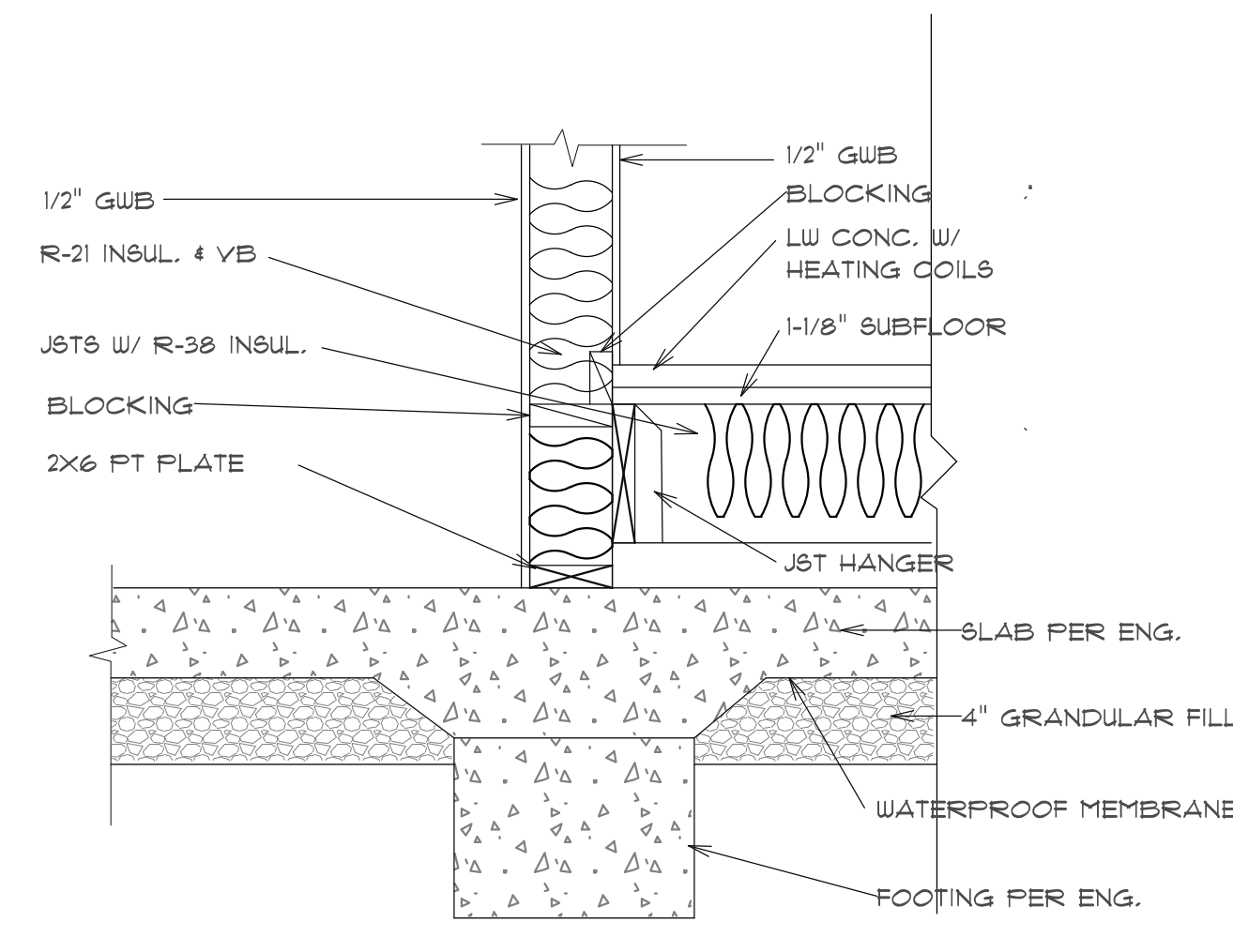
SECTION "D-D"
 SCALE 1/4" = 1'-0"

DATE
 4-13-2022
 10-5-2022
 4-1-2023

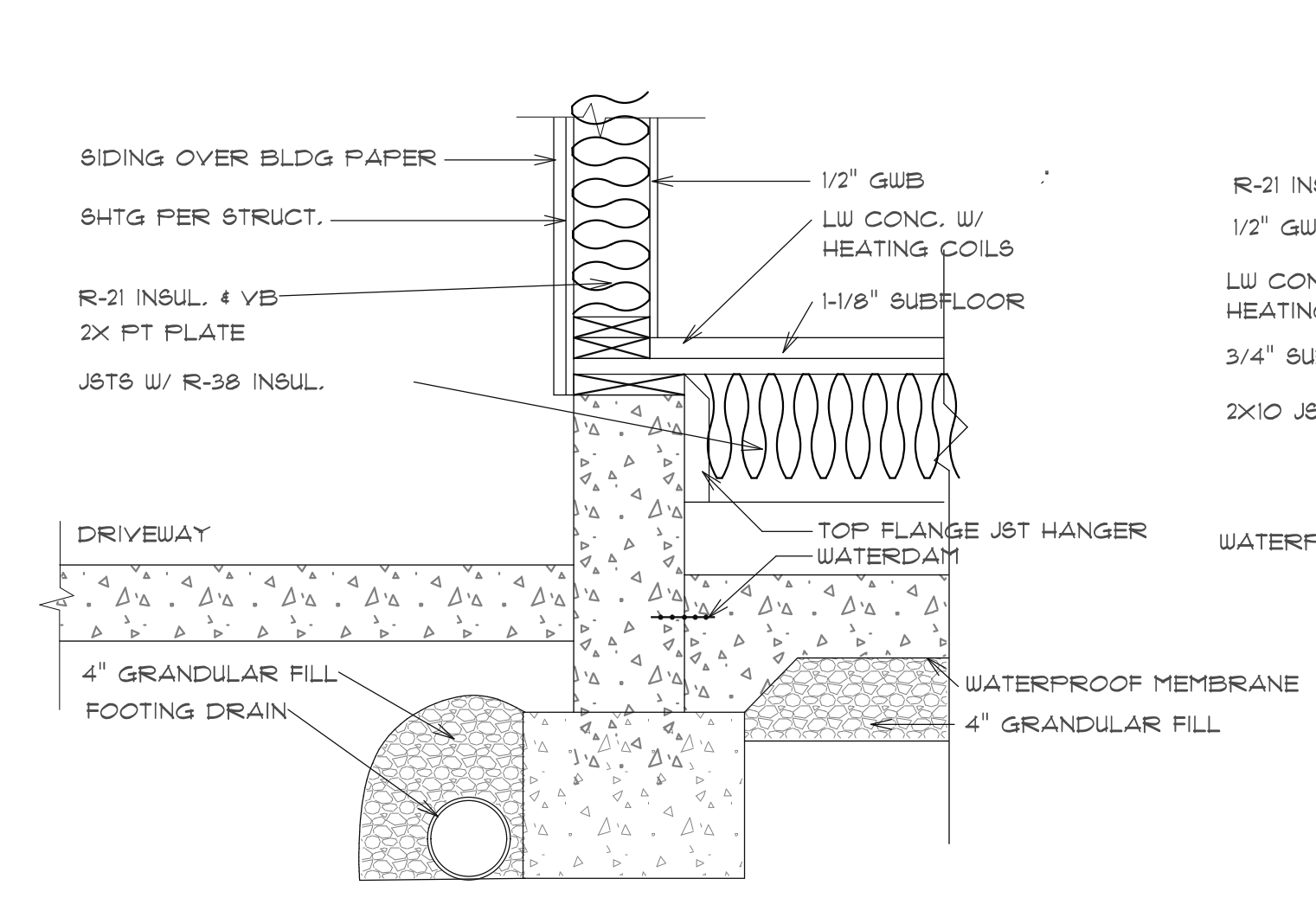
PROJECT NO.
 001

SHEET NO.
A4.4

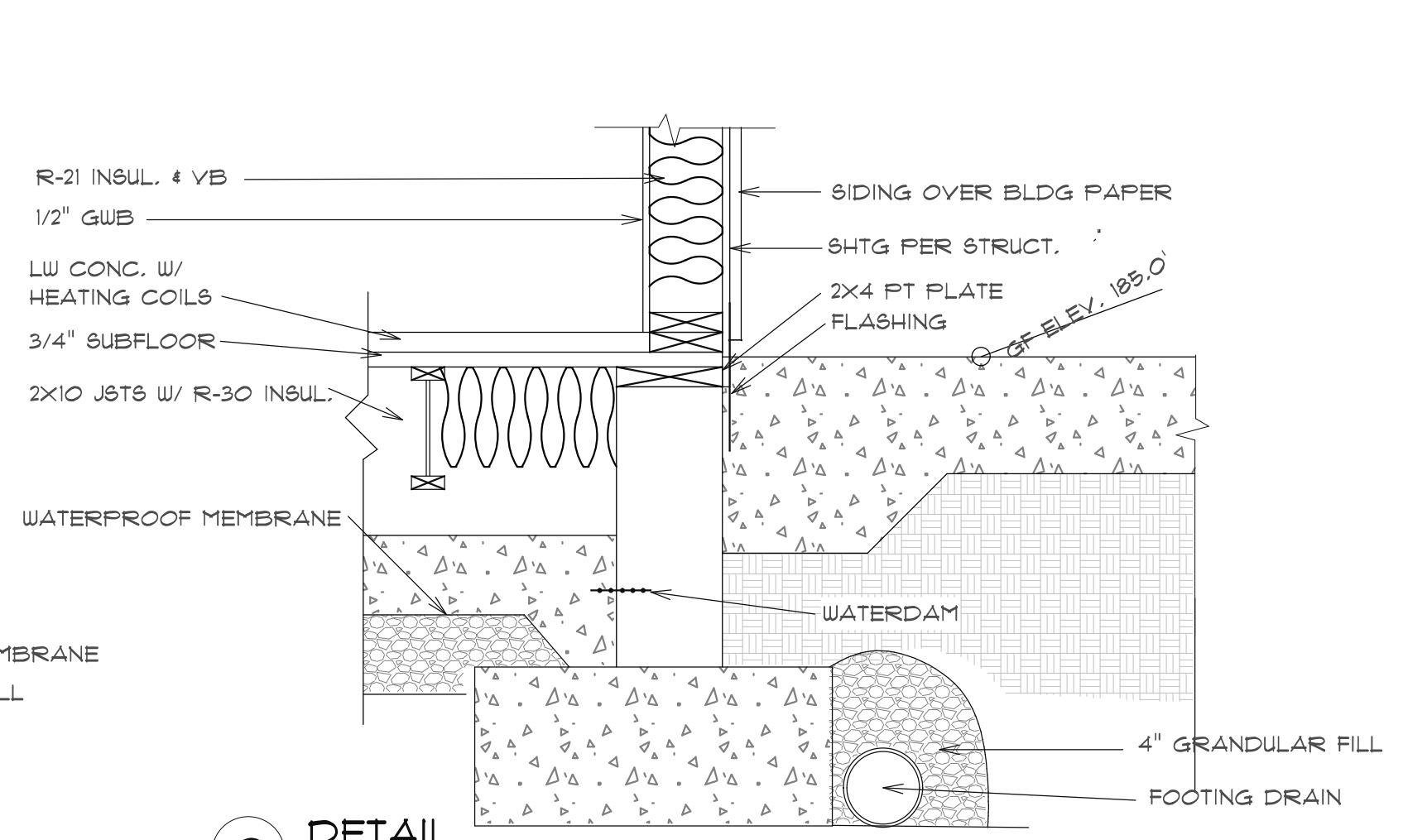
4-1-2023 REVISED FOR FULL BASEMENT



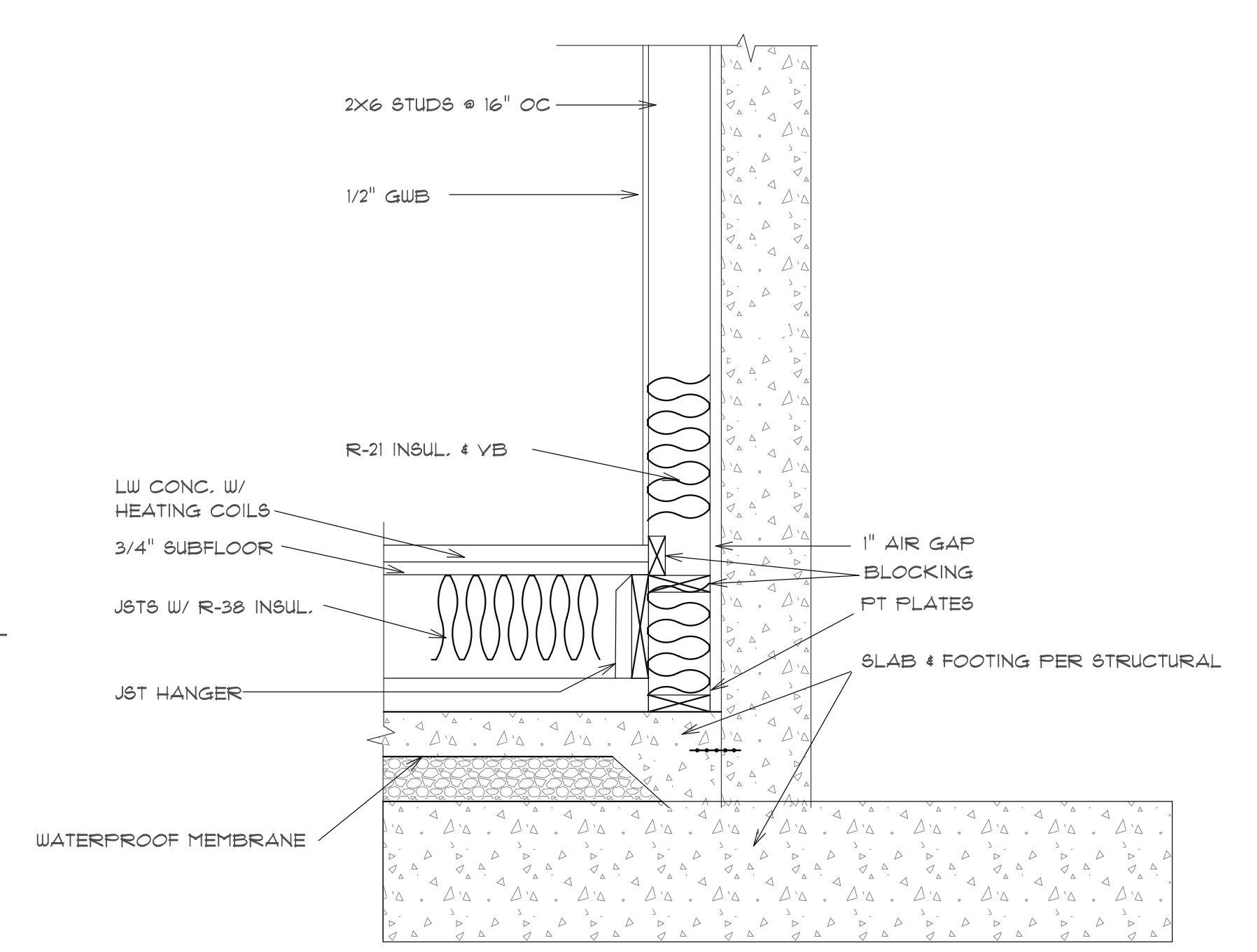
1 DETAIL
SCALE: 1"=1'-0"



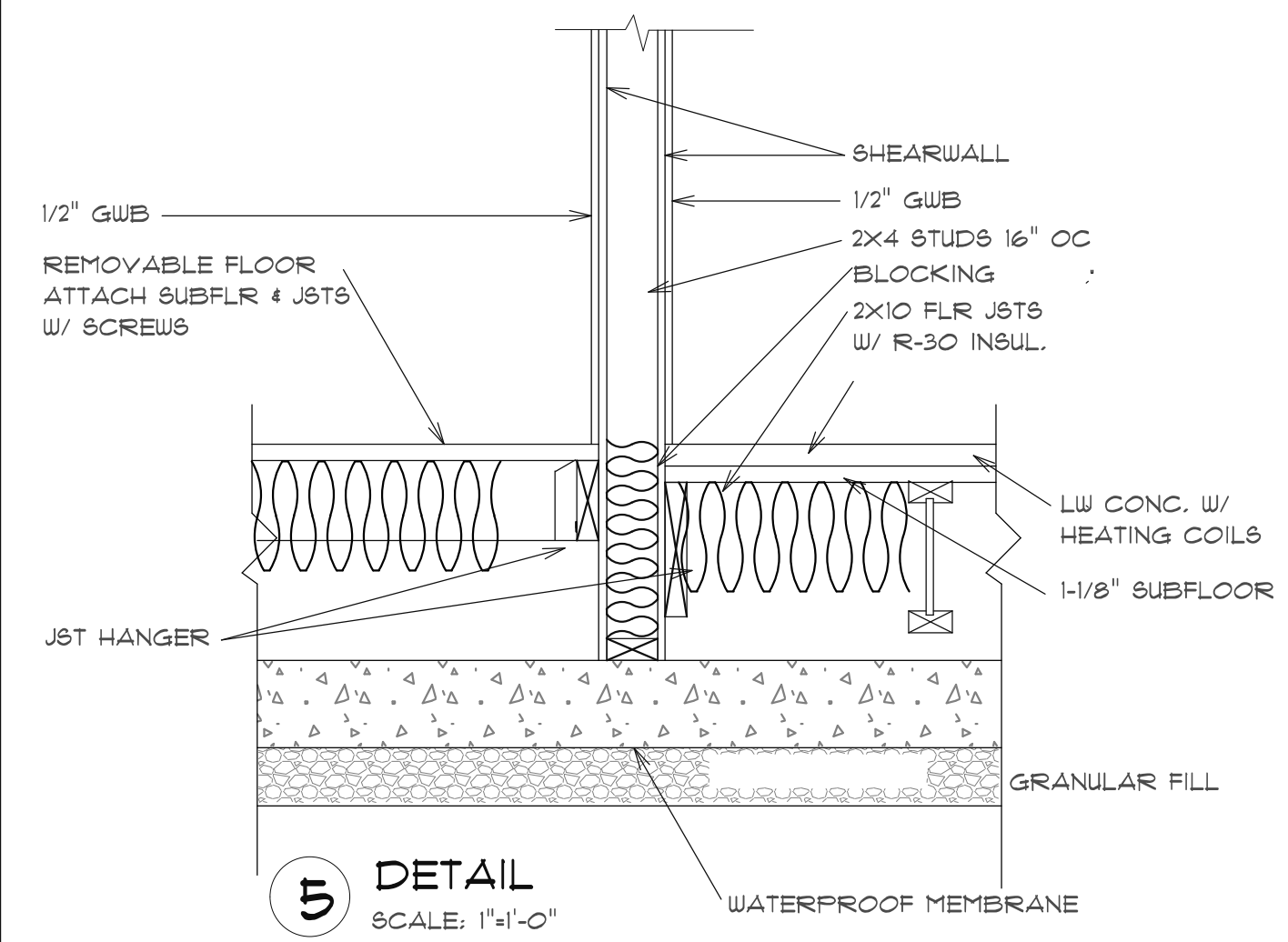
2 DETAIL
SCALE: 1"=1'-0"



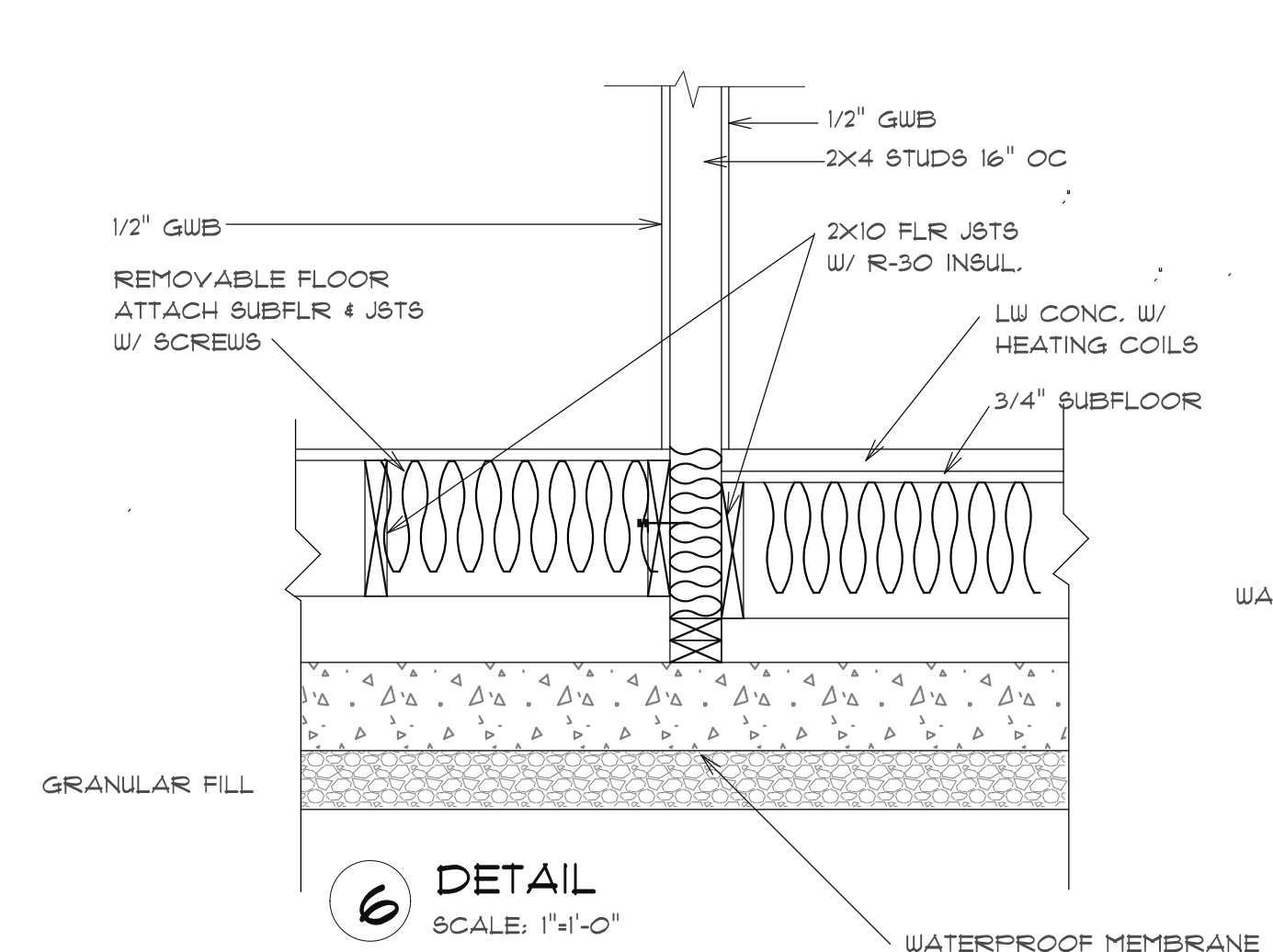
3 DETAIL
SCALE: 1"=1'-0"



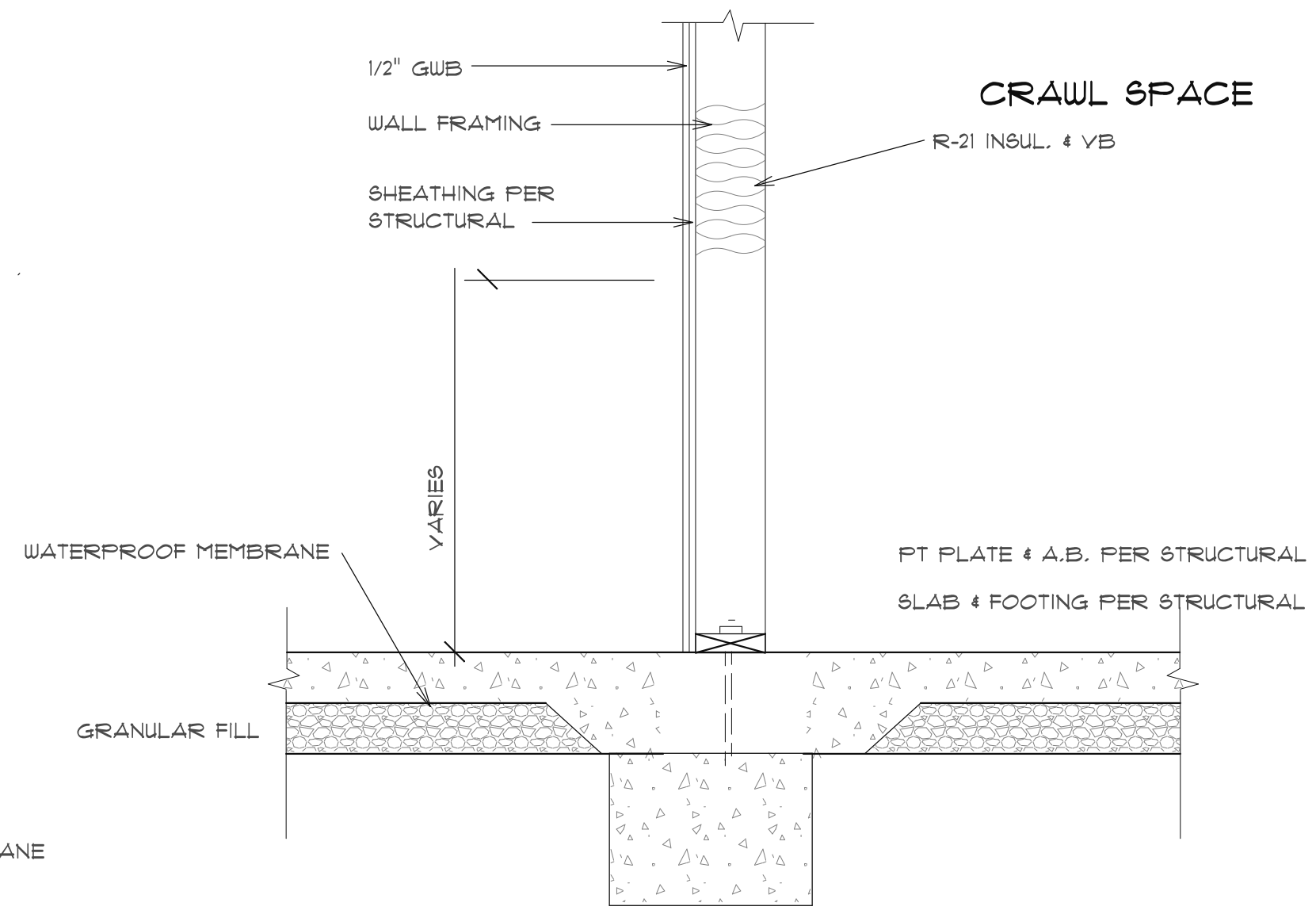
4 DETAIL
SCALE: 1"=1'-0"



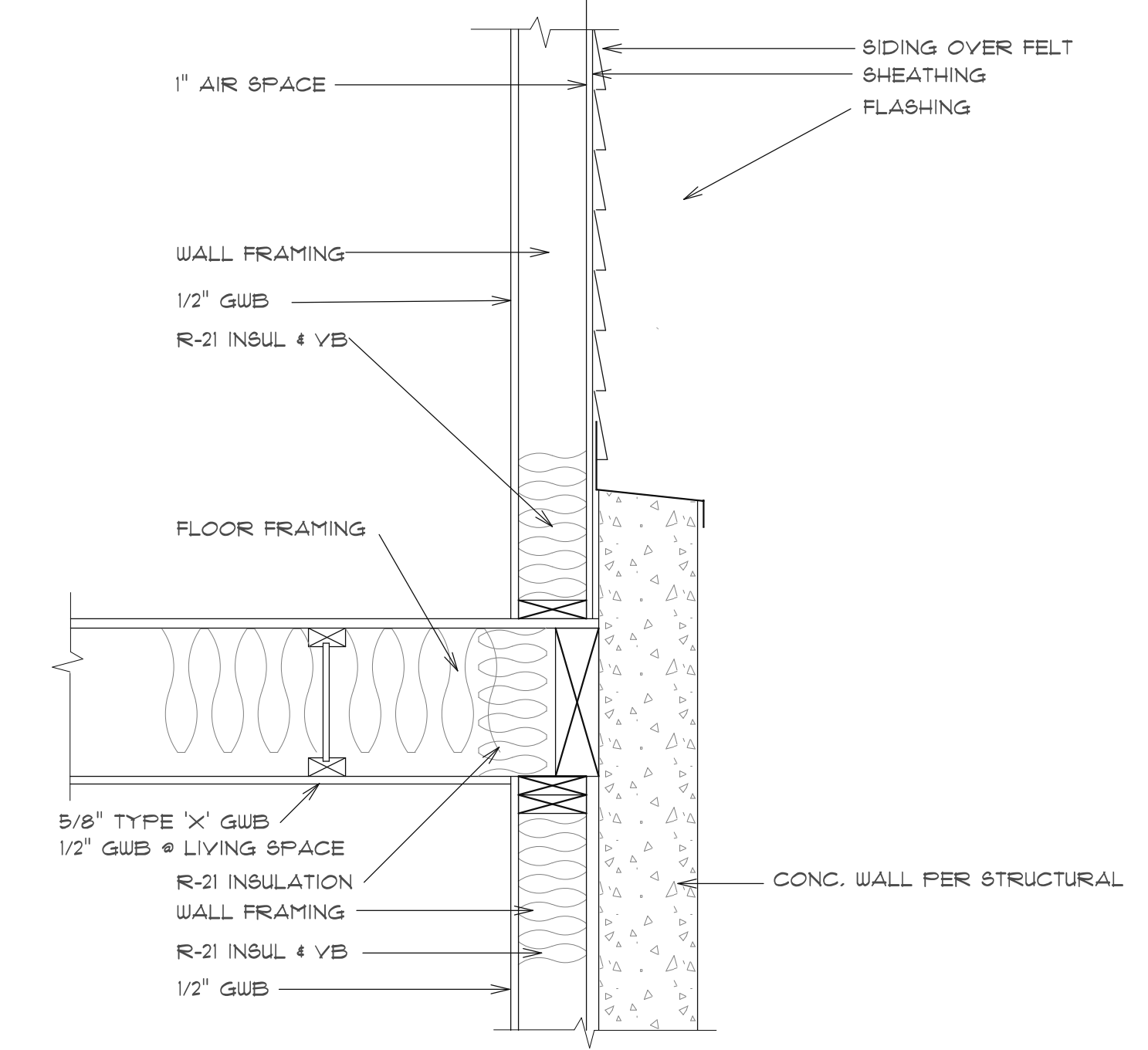
5 DETAIL
SCALE: 1"=1'-0"



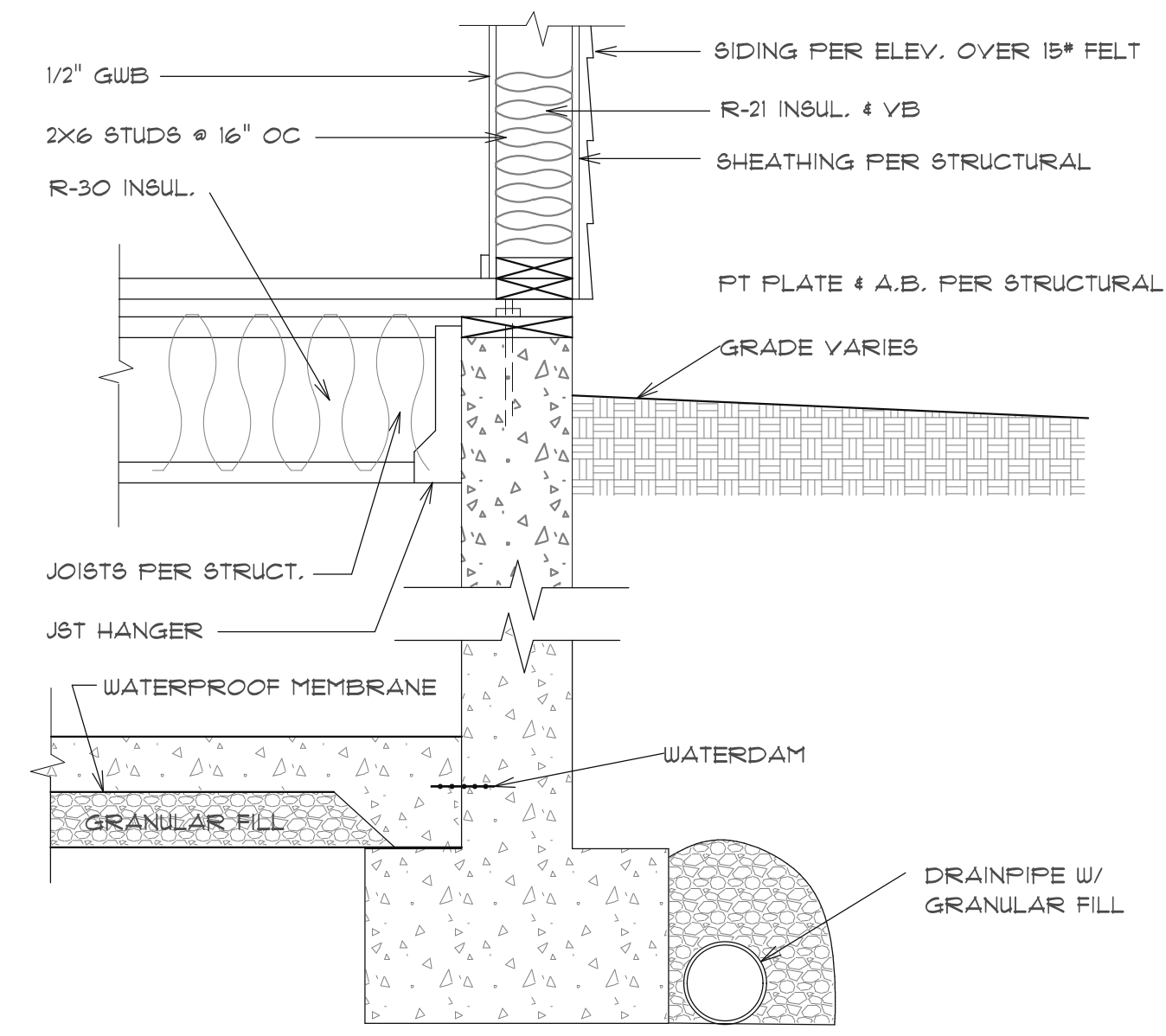
6 DETAIL
SCALE: 1"=1'-0"



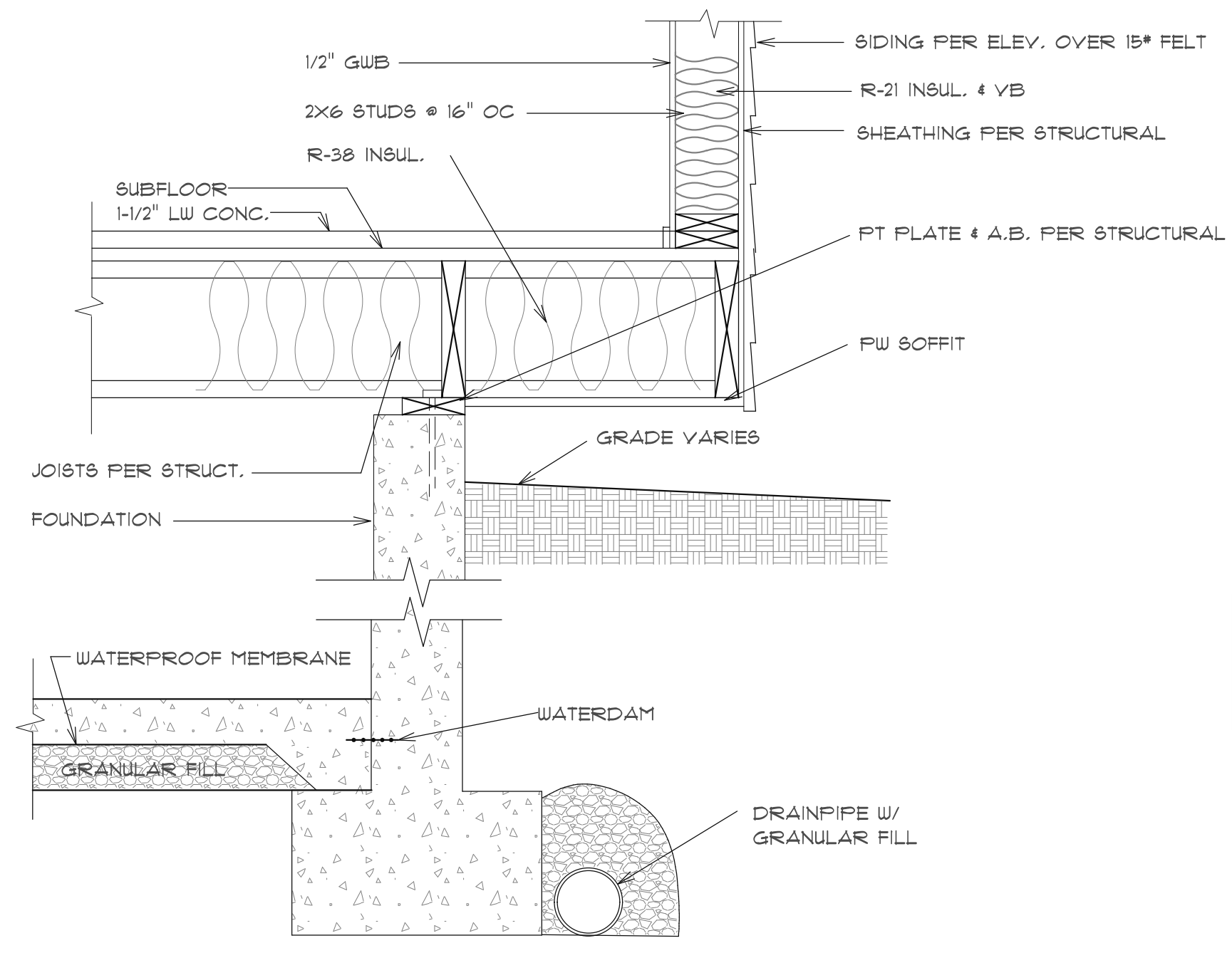
7 DETAIL
SCALE: 1"=1'-0"
4-1-2023 REVISED FOR FULL BASEMENT



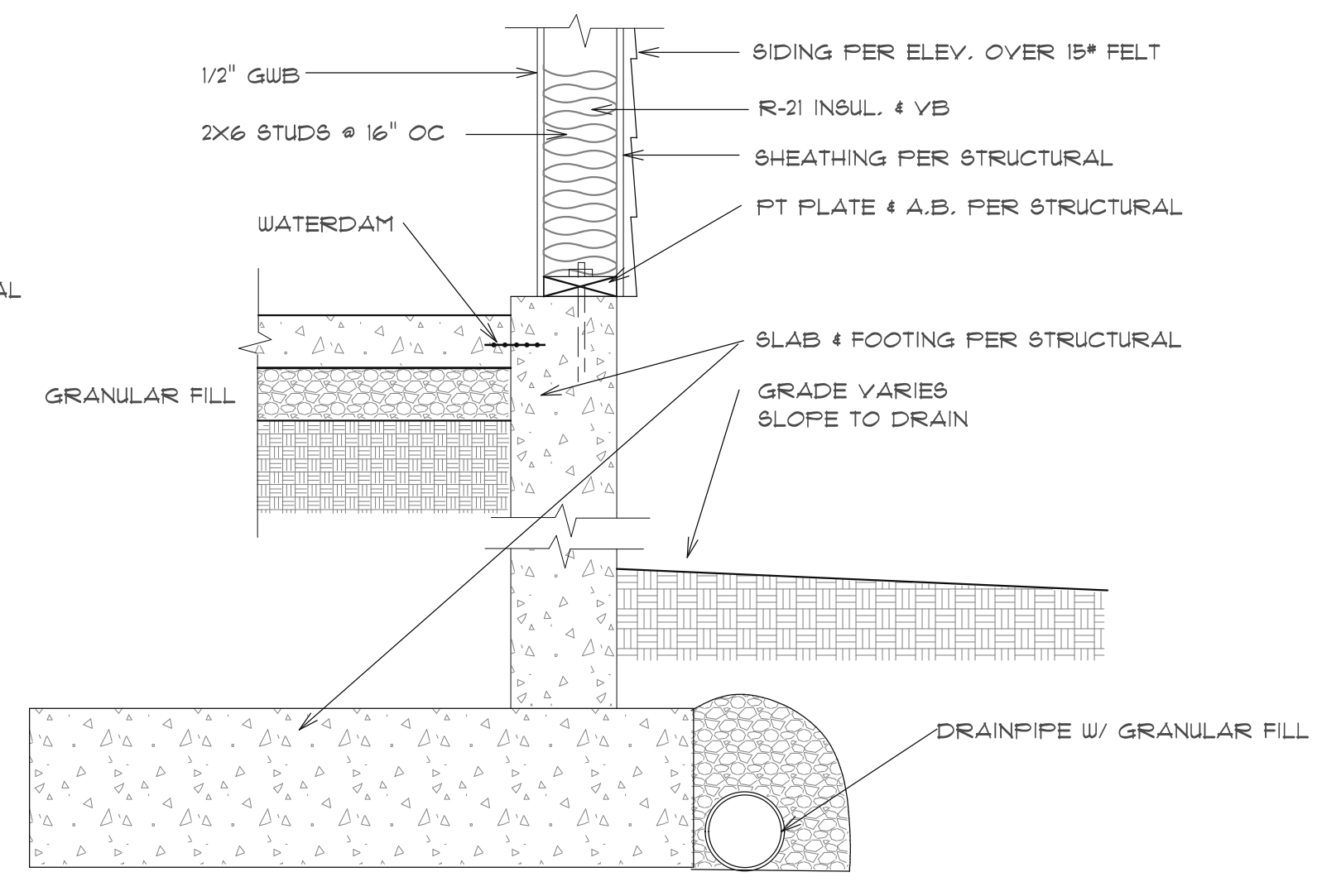
8 DETAIL
SCALE: 1"=1'-0"



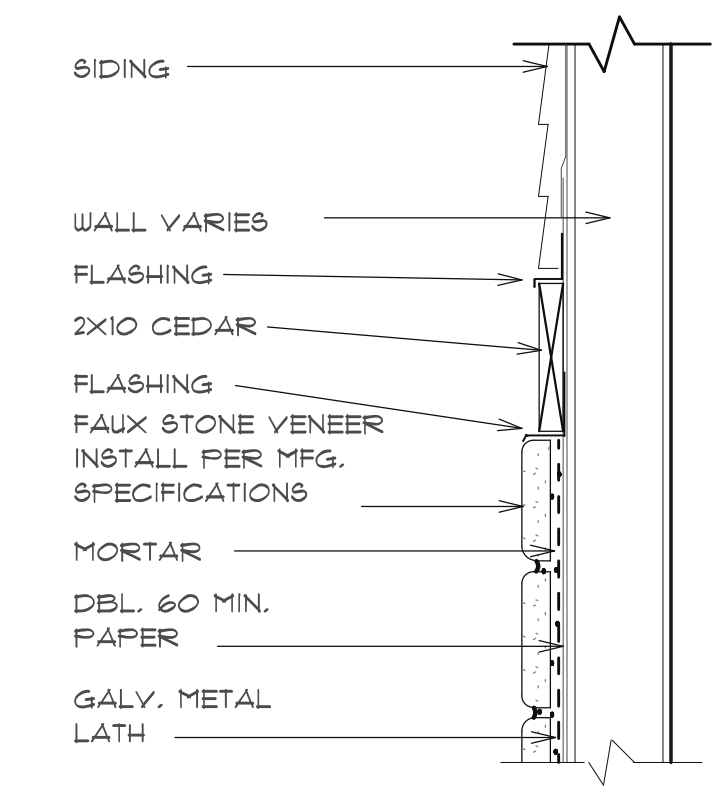
9 DETAIL
SCALE: 1"=1'-0"
4-1-2023 REVISED FOR FULL BASEMENT



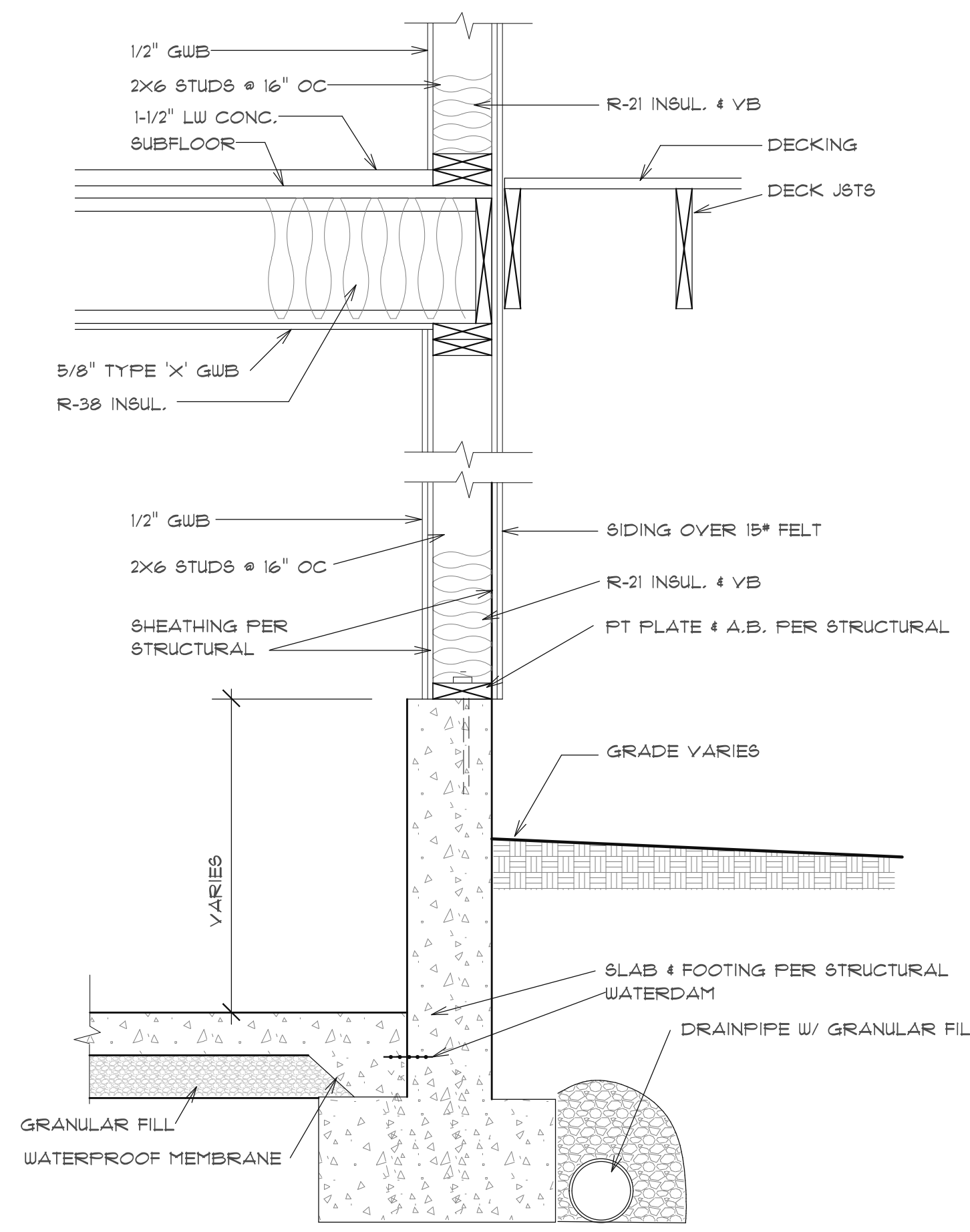
10 DETAIL
SCALE: 1"=1'-0"
4-1-2023 REVISED FOR FULL BASEMENT



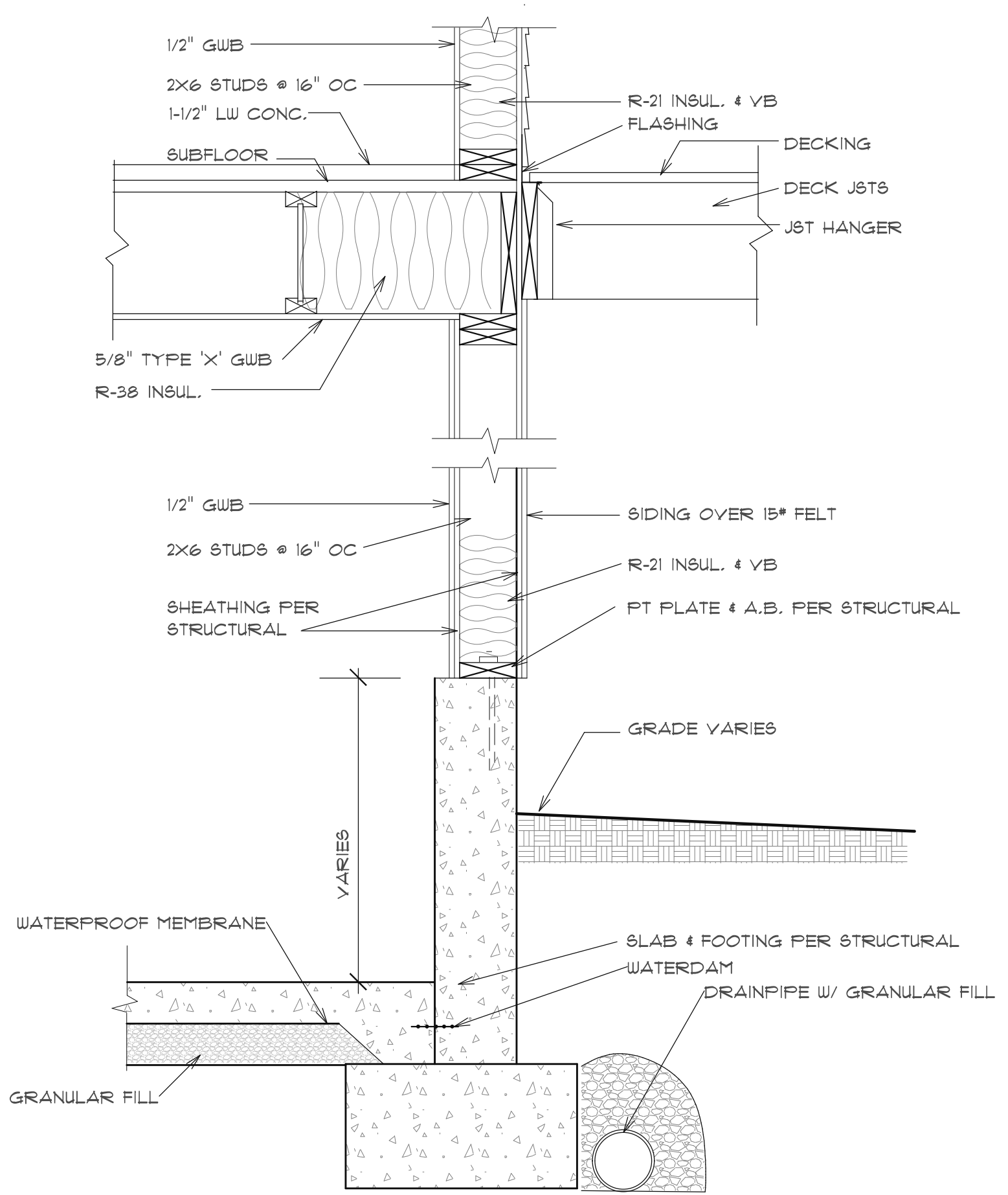
11 DETAILS
SCALE: 1"=1'-0"



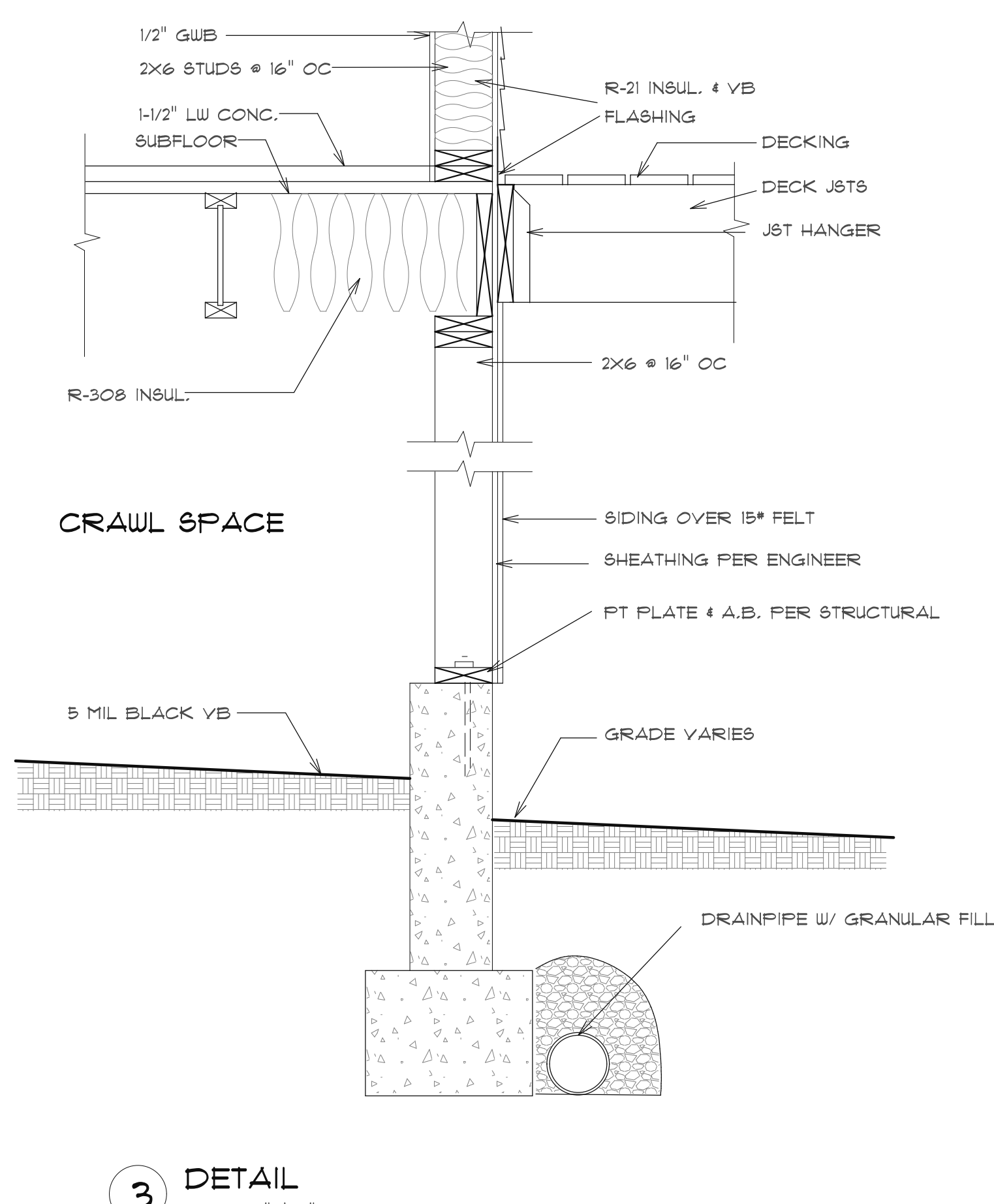
12 WALL VENEER DETAILS
SCALE: 1"=1'-0"



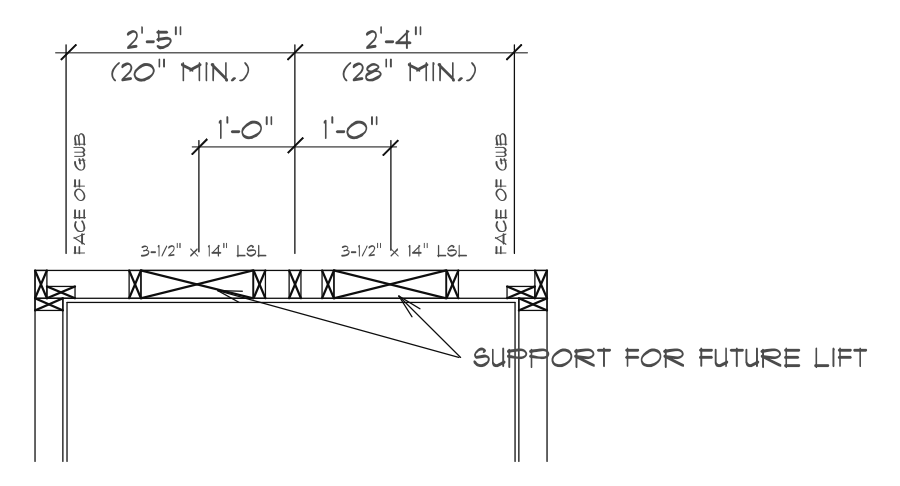
1 DETAIL
SCALE: 1"=1'-0"



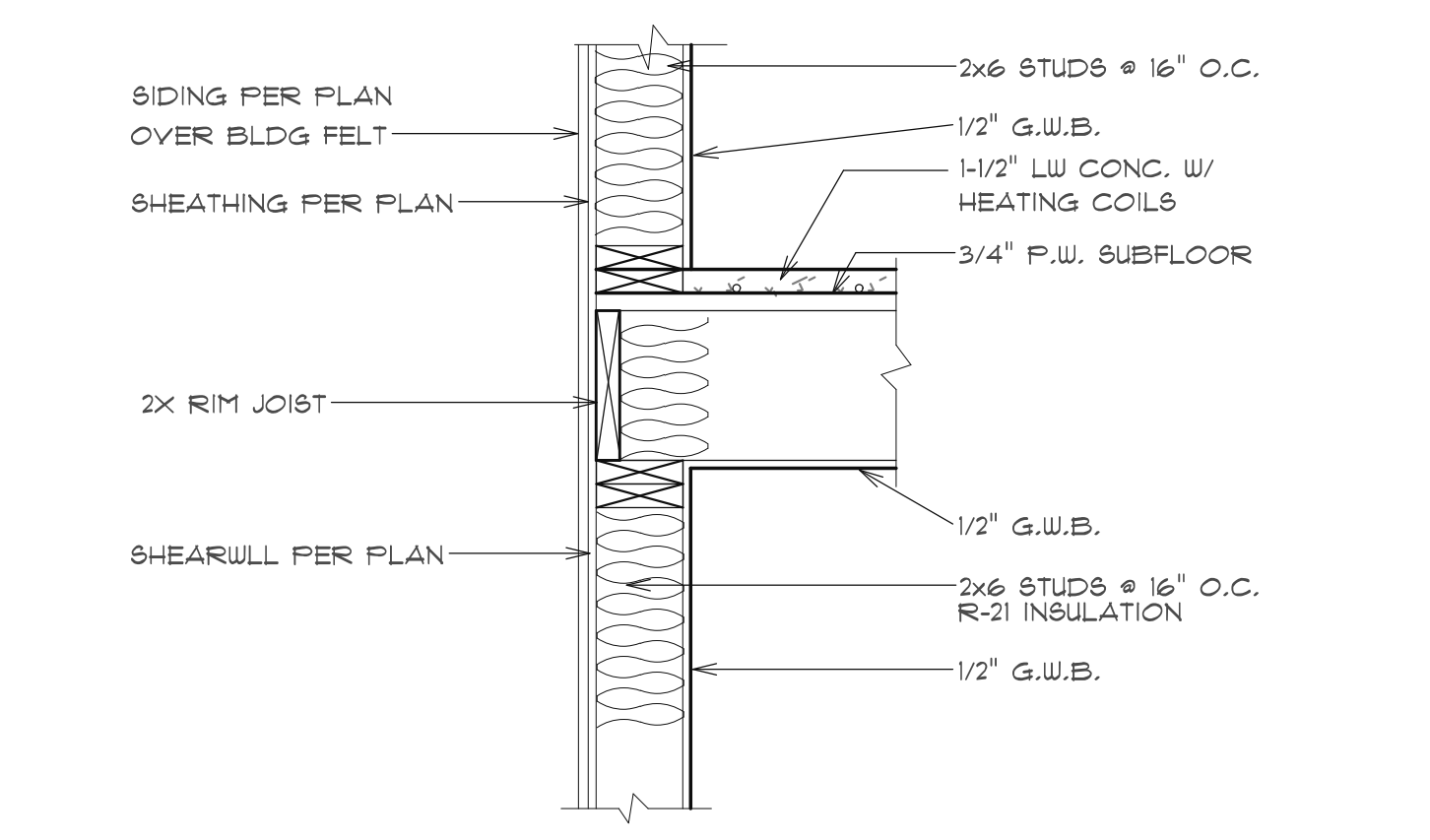
2 DETAIL
SCALE: 1"=1'-0"



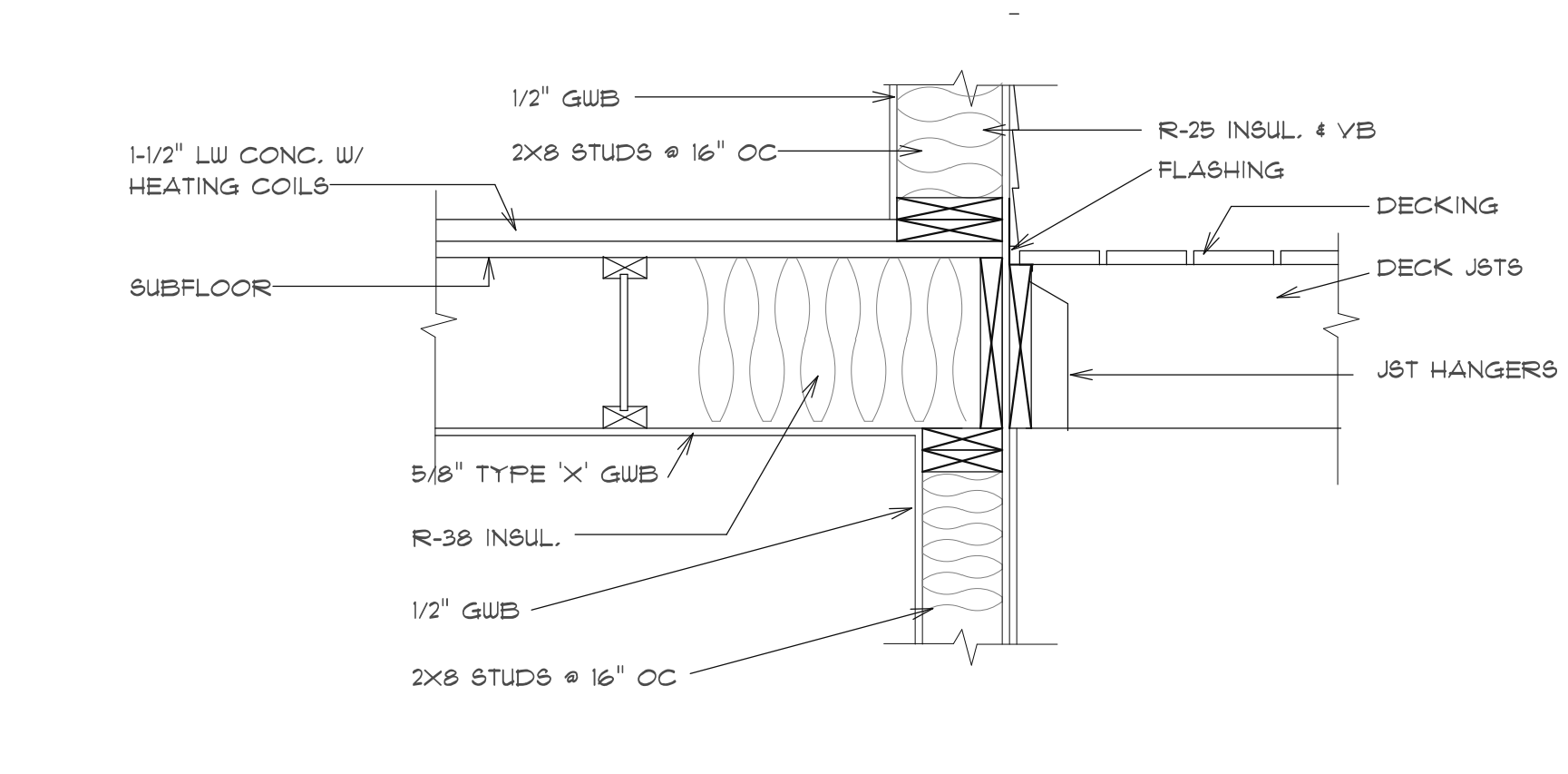
3 DETAIL
SCALE: 1"=1'-0"



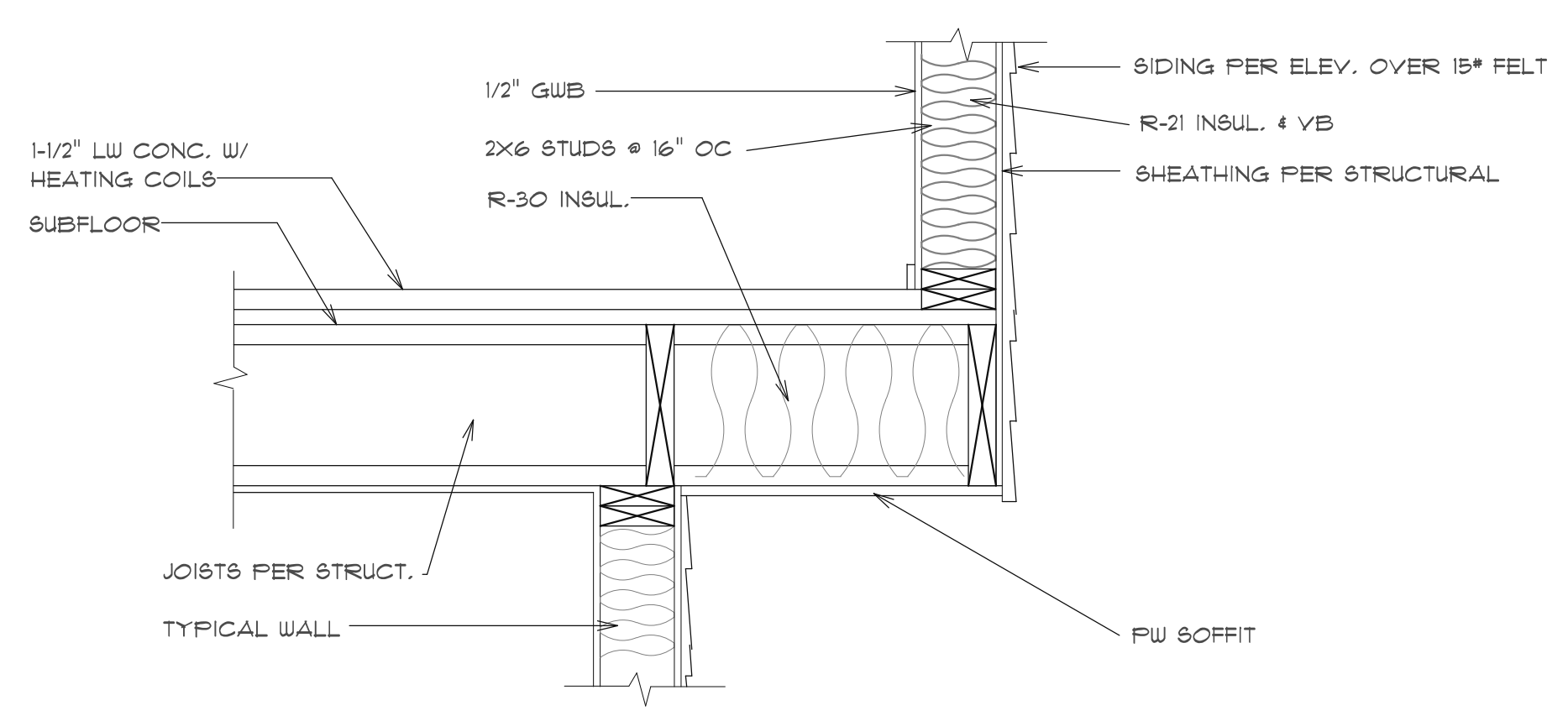
4 DETAIL
SCALE: 1/2"=1'-0"



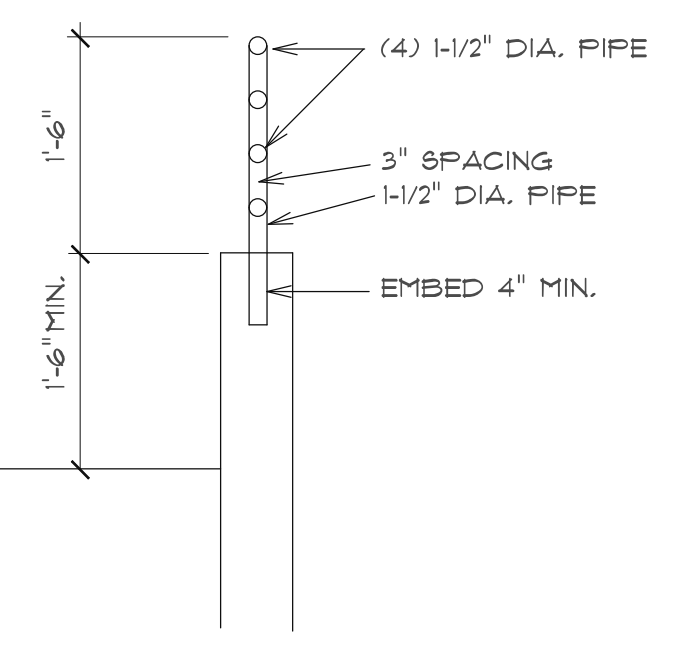
5 DETAIL
SCALE: 1"=1'-0"



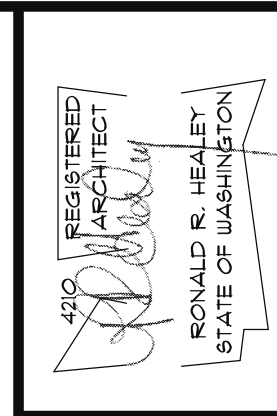
6 DETAIL
SCALE: 1"=1'-0"



9 DETAIL
SCALE: 1"=1'-0"



10 DETAIL
SCALE: 1"=1'-0"



THE HEALEY ALLIANCE AZ
3905 N. 195th DRIVE, GOODPASTER, AZ 85395 - (480) 444-6868
ARCHITECTS

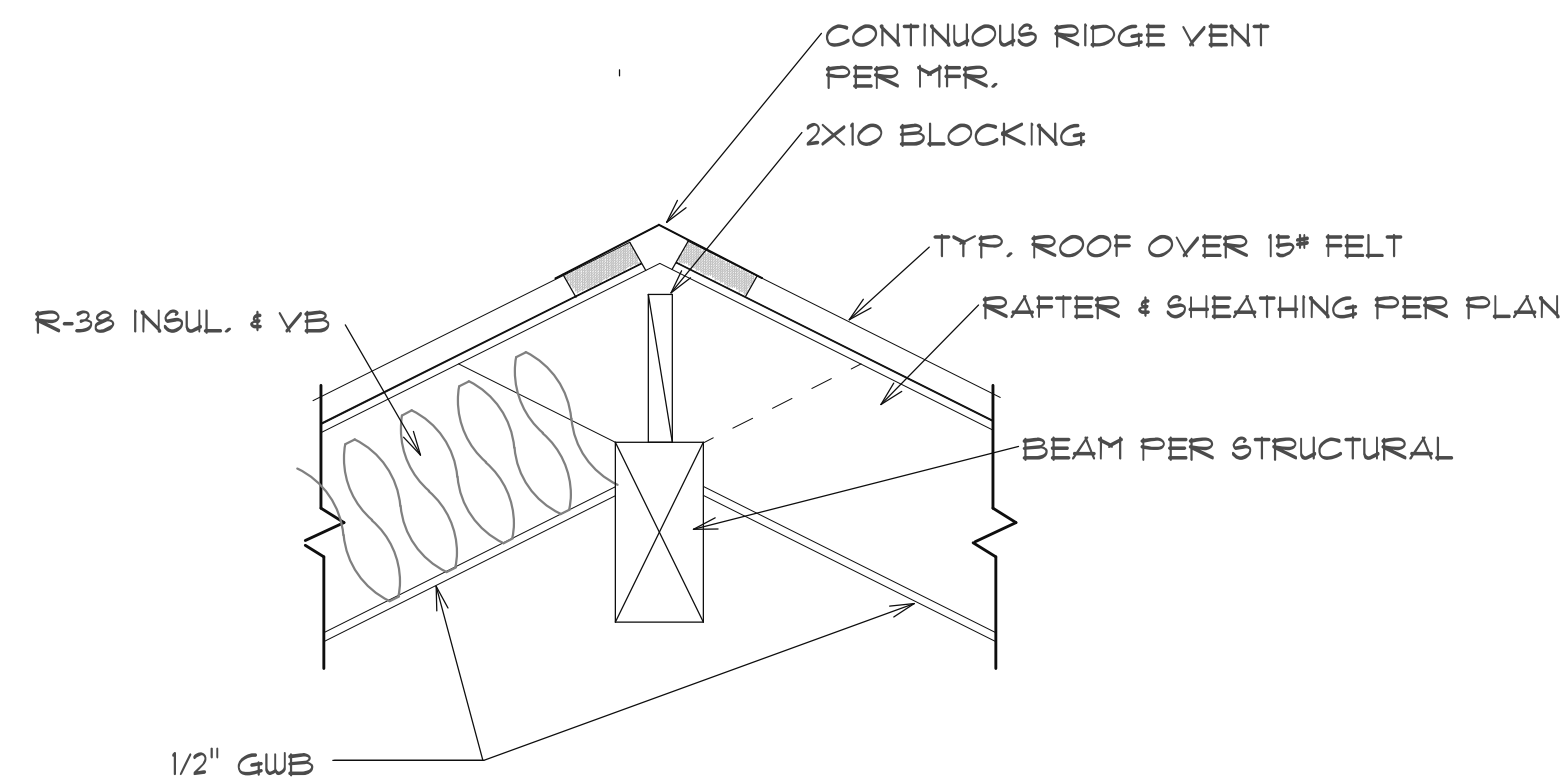
M1 Treehouse, LLC,
5631 EAST MERCER WAY
MERCER ISLAND, WA.

DETAILS

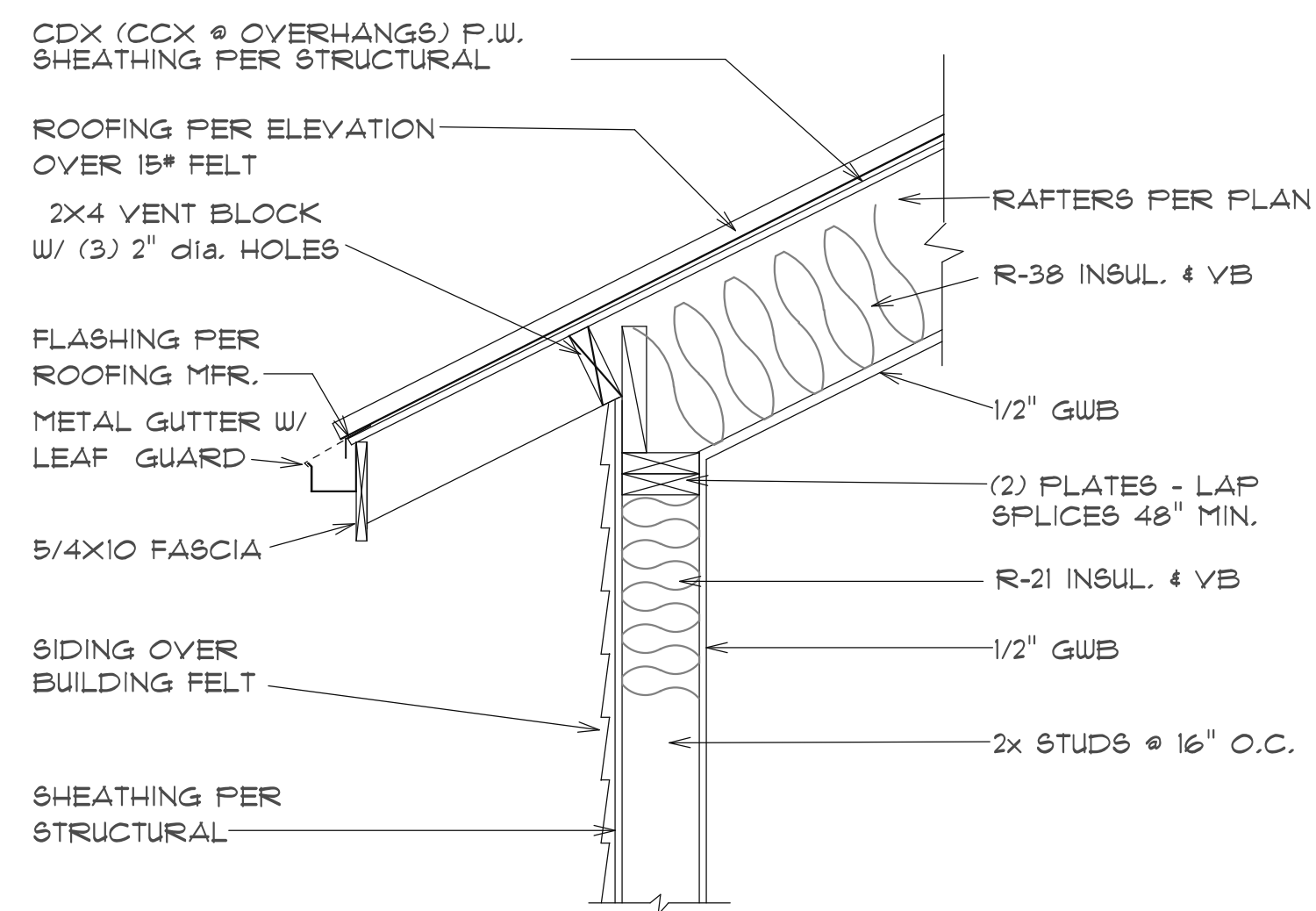
DATE
4-13-2022
10-5-2022

PROJECT NO.
001

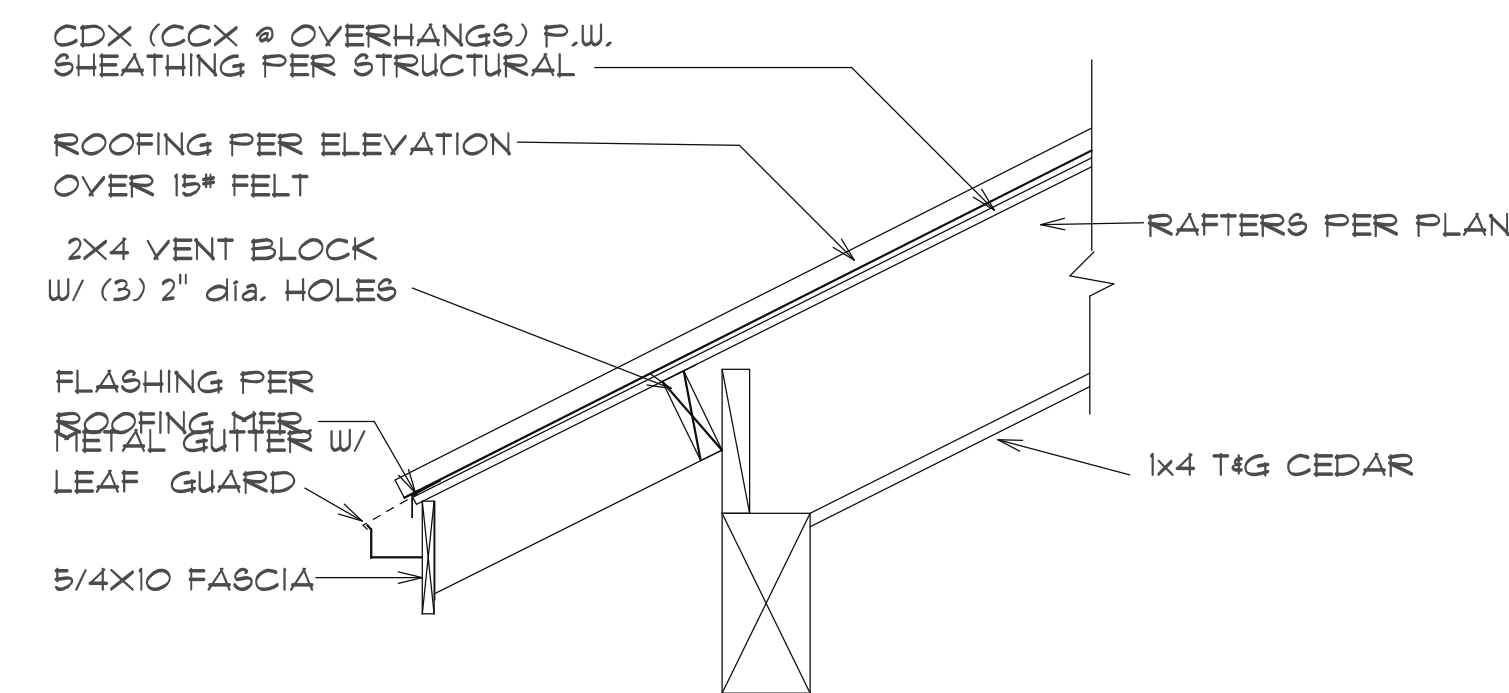
SHEET NO.
A5.2



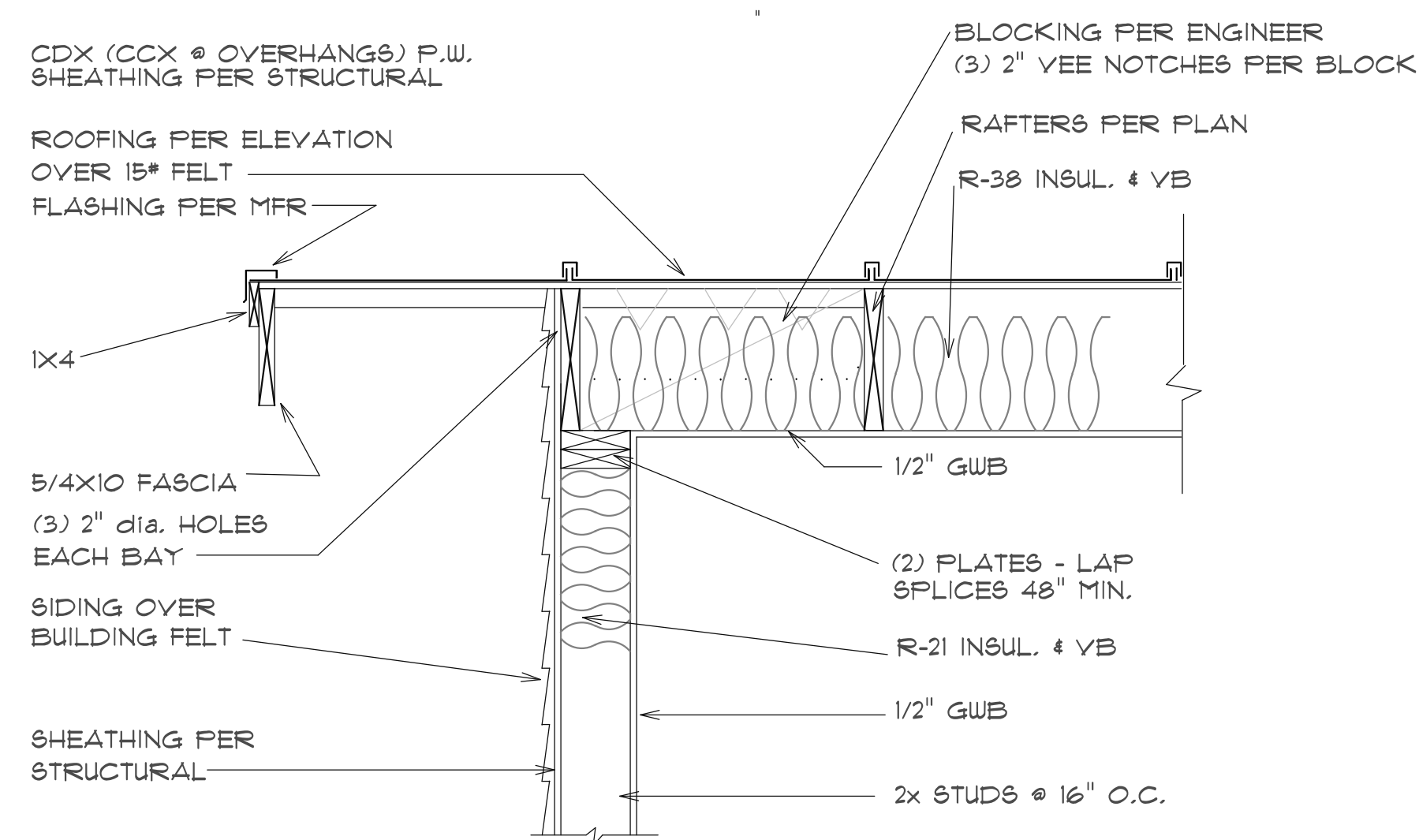
1 DETAIL
SCALE: 1"=1'-0"



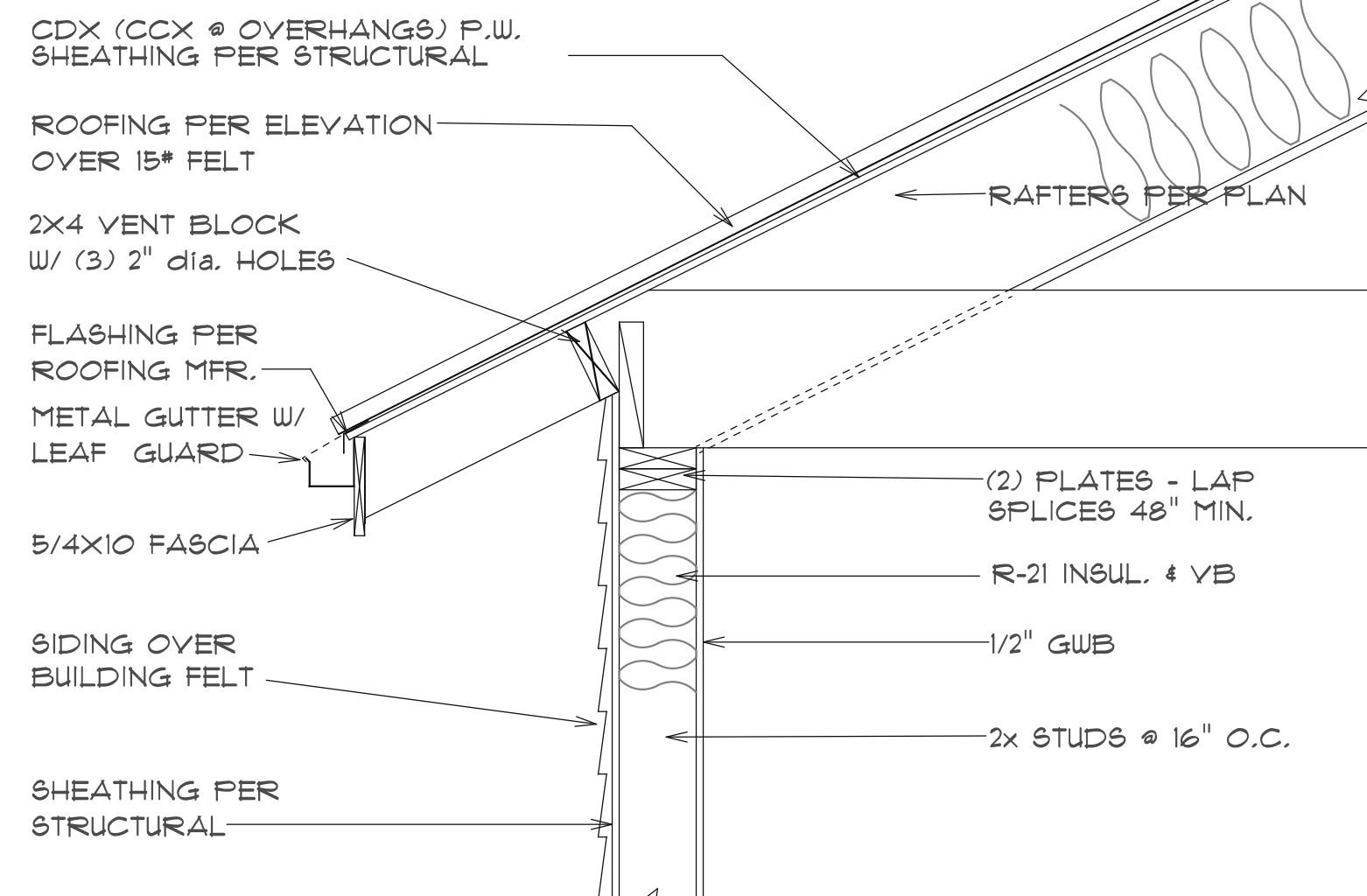
2 DETAIL
SCALE: 1"=1'-0"



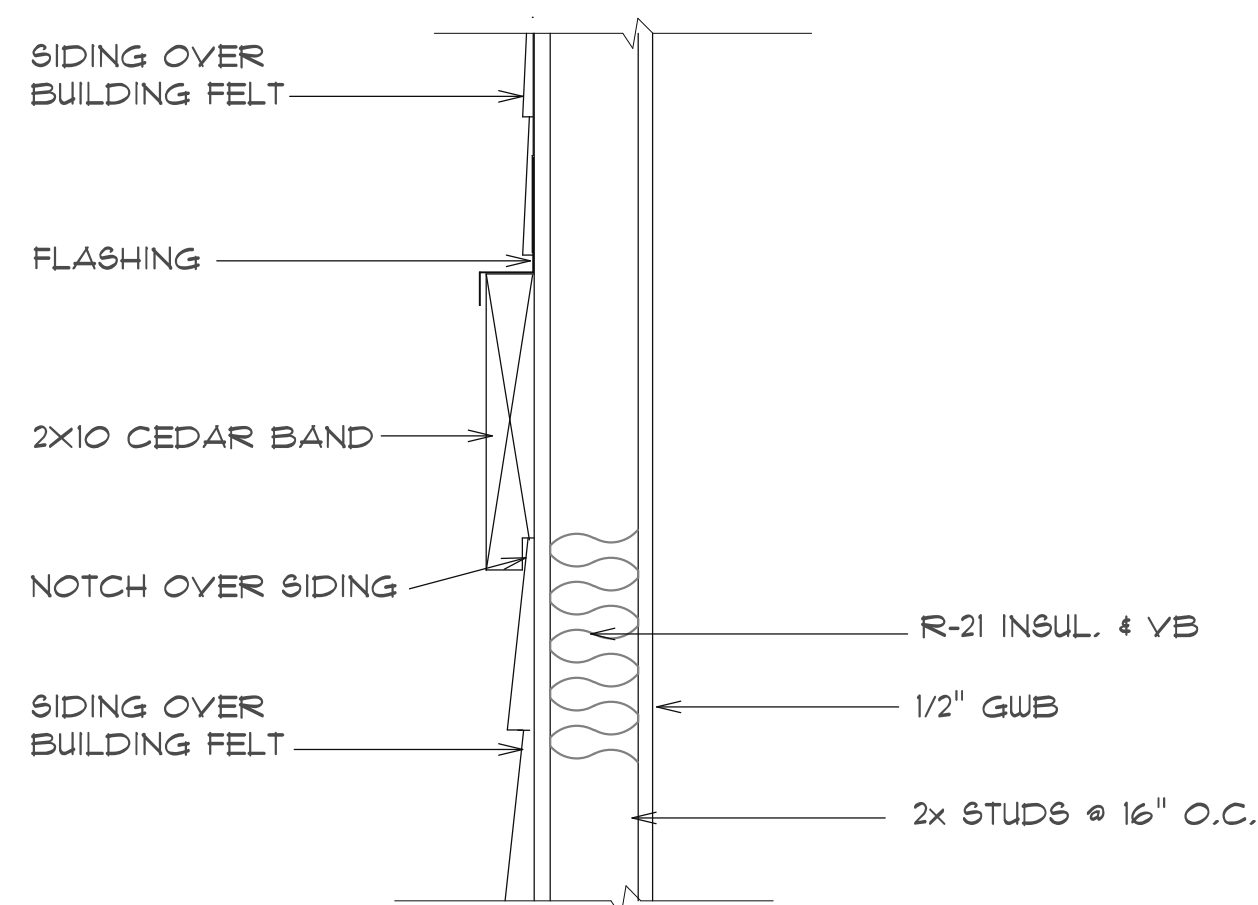
3 DETAIL
SCALE: 1"=1'-0"



4 DETAIL
SCALE: 1"=1'-0"



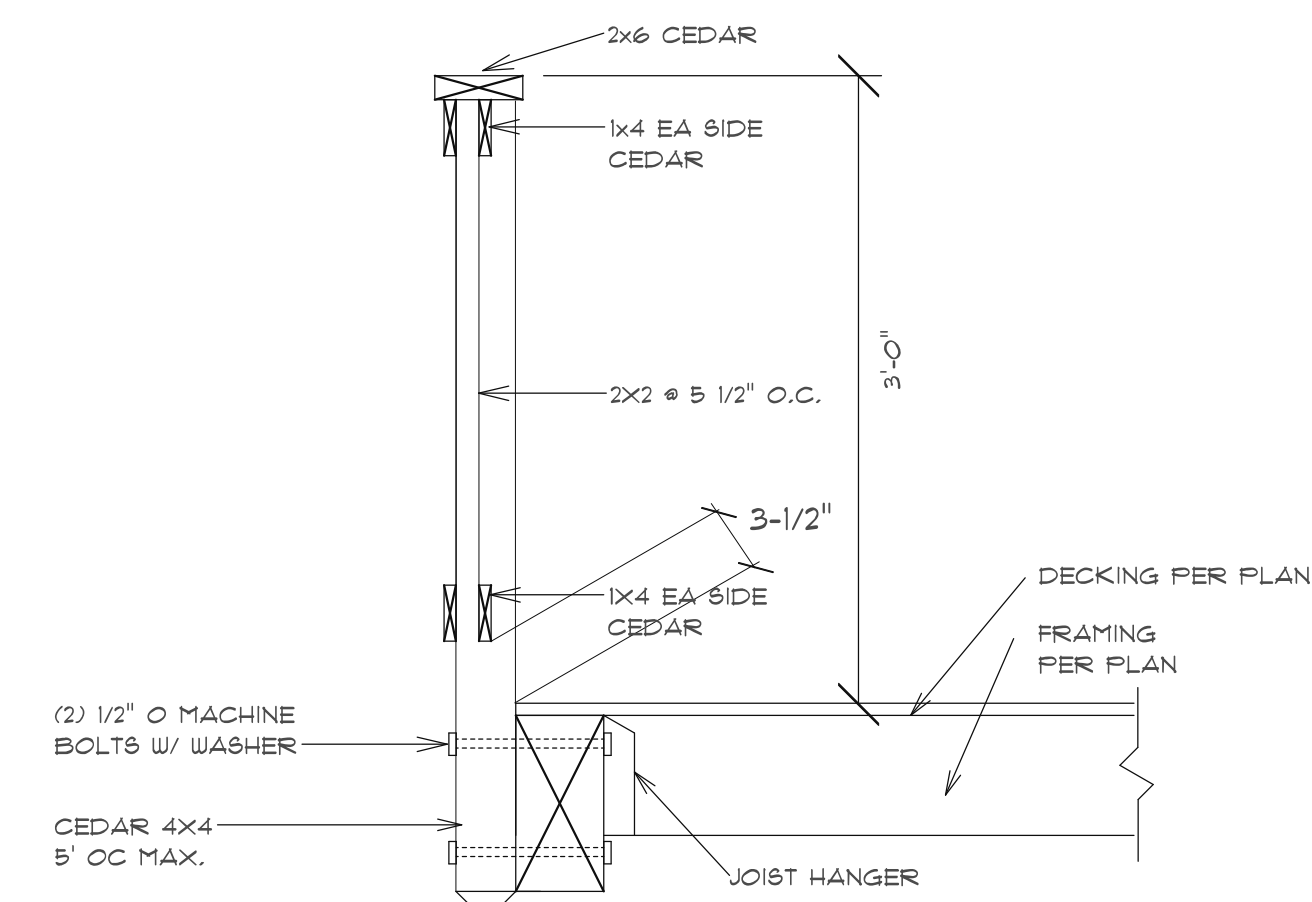
5 DETAIL
SCALE: 1"=1'-0"



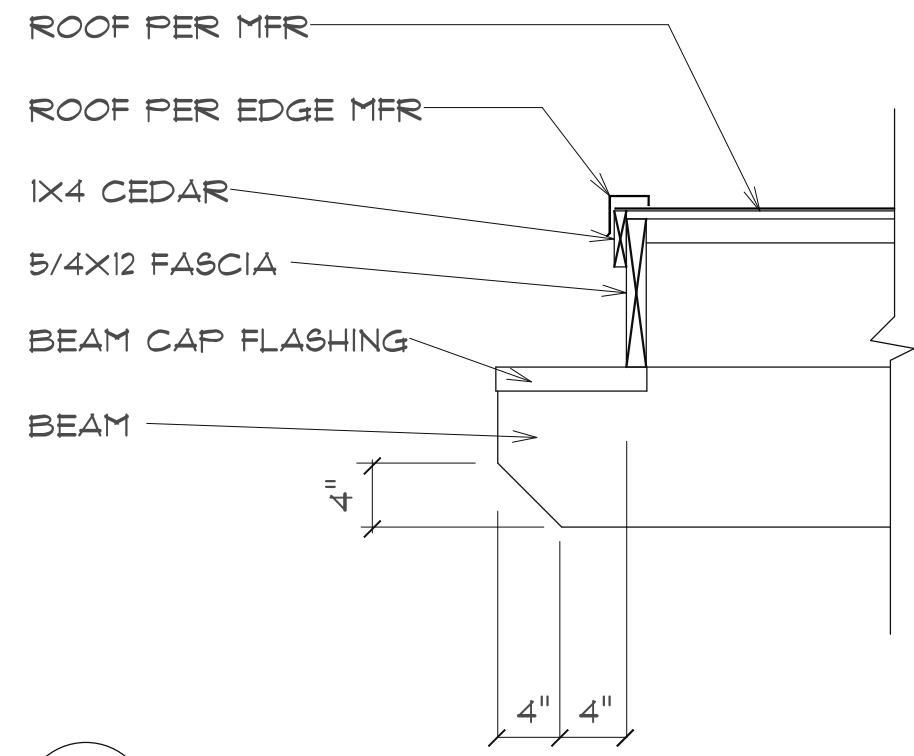
6 DETAIL
SCALE: 1"=1'-0"



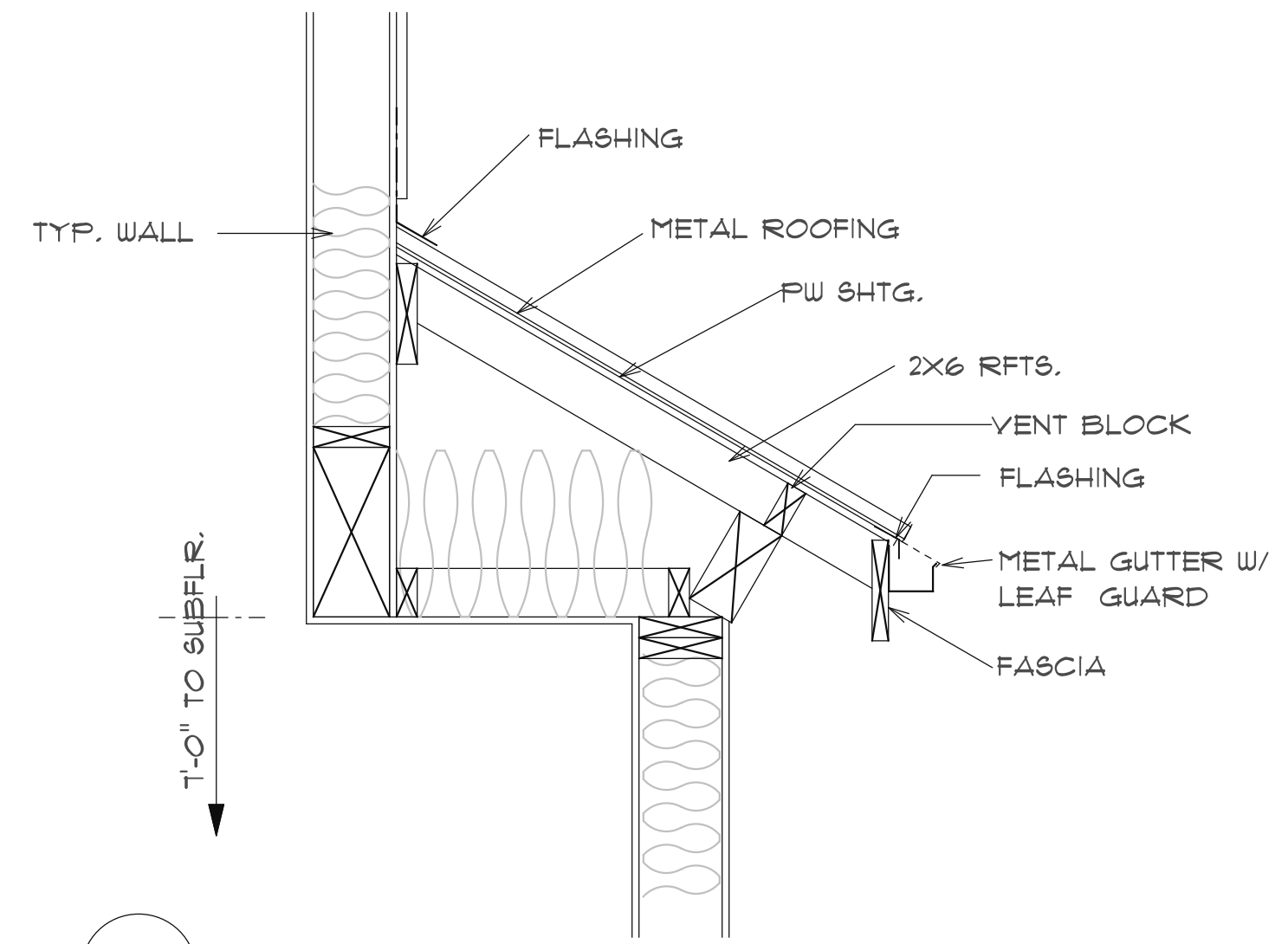
7 DETAIL
SCALE: 1"=1'-0"



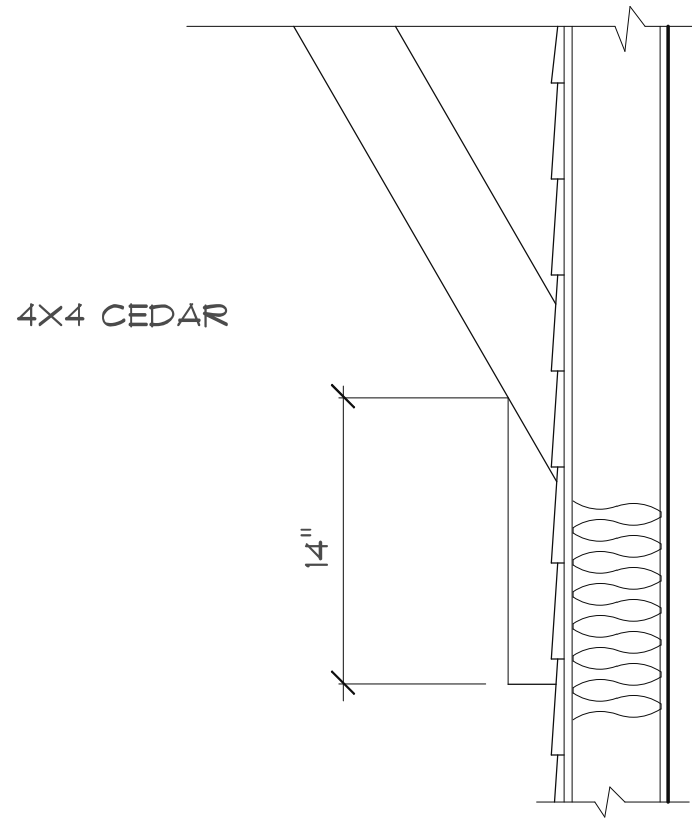
8 DECK RAILING
SCALE: 1"=1'-0"



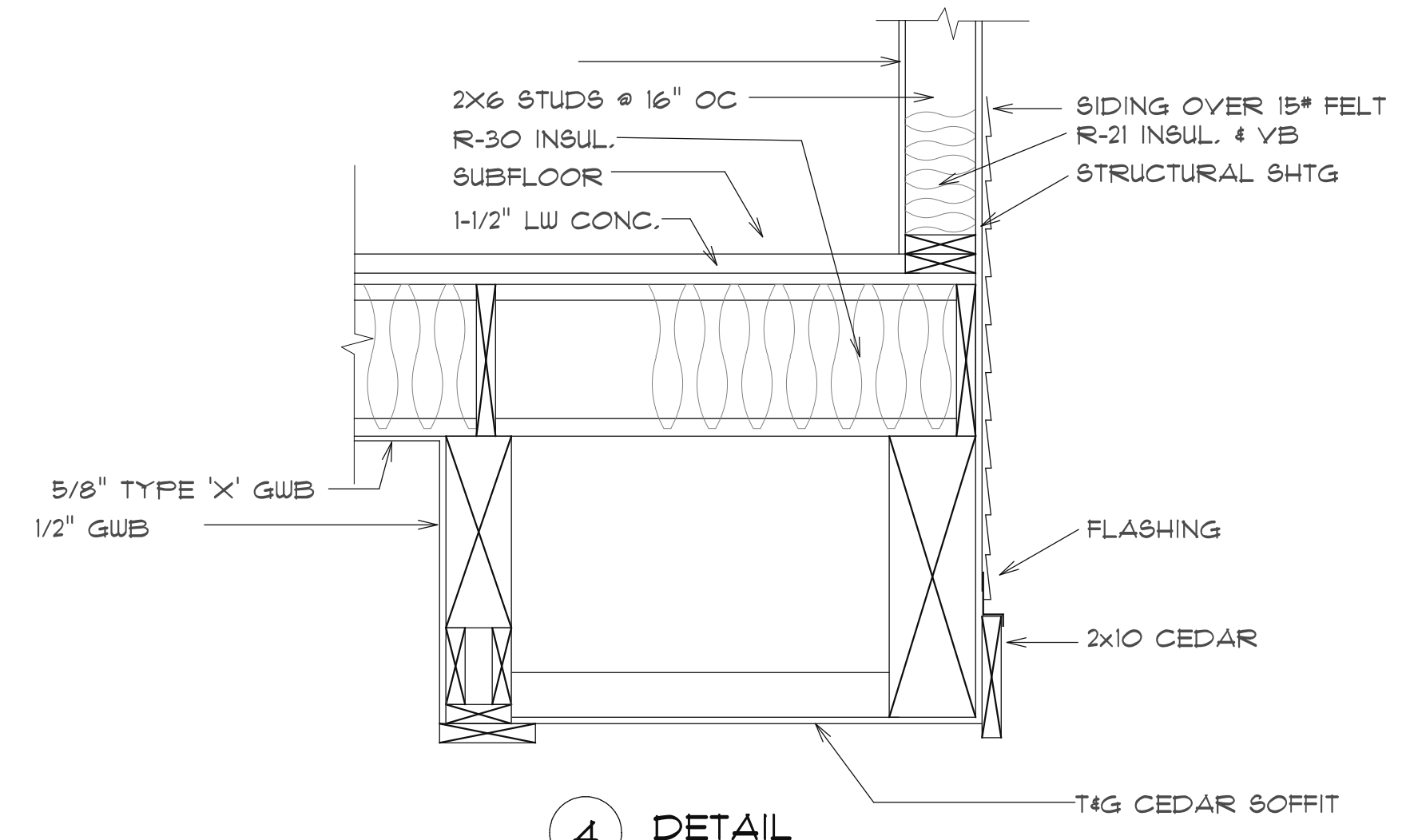
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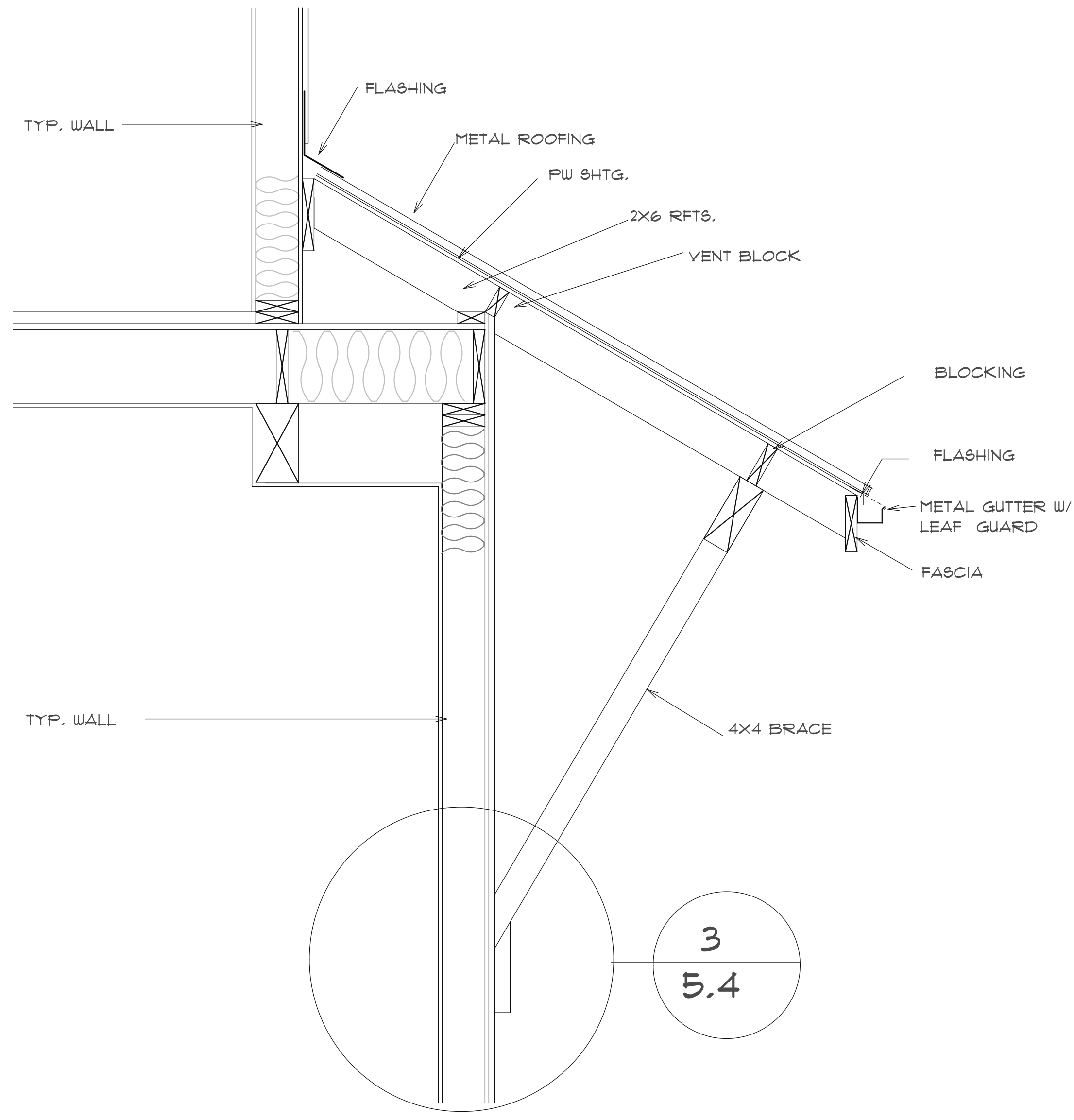
2 DETAIL
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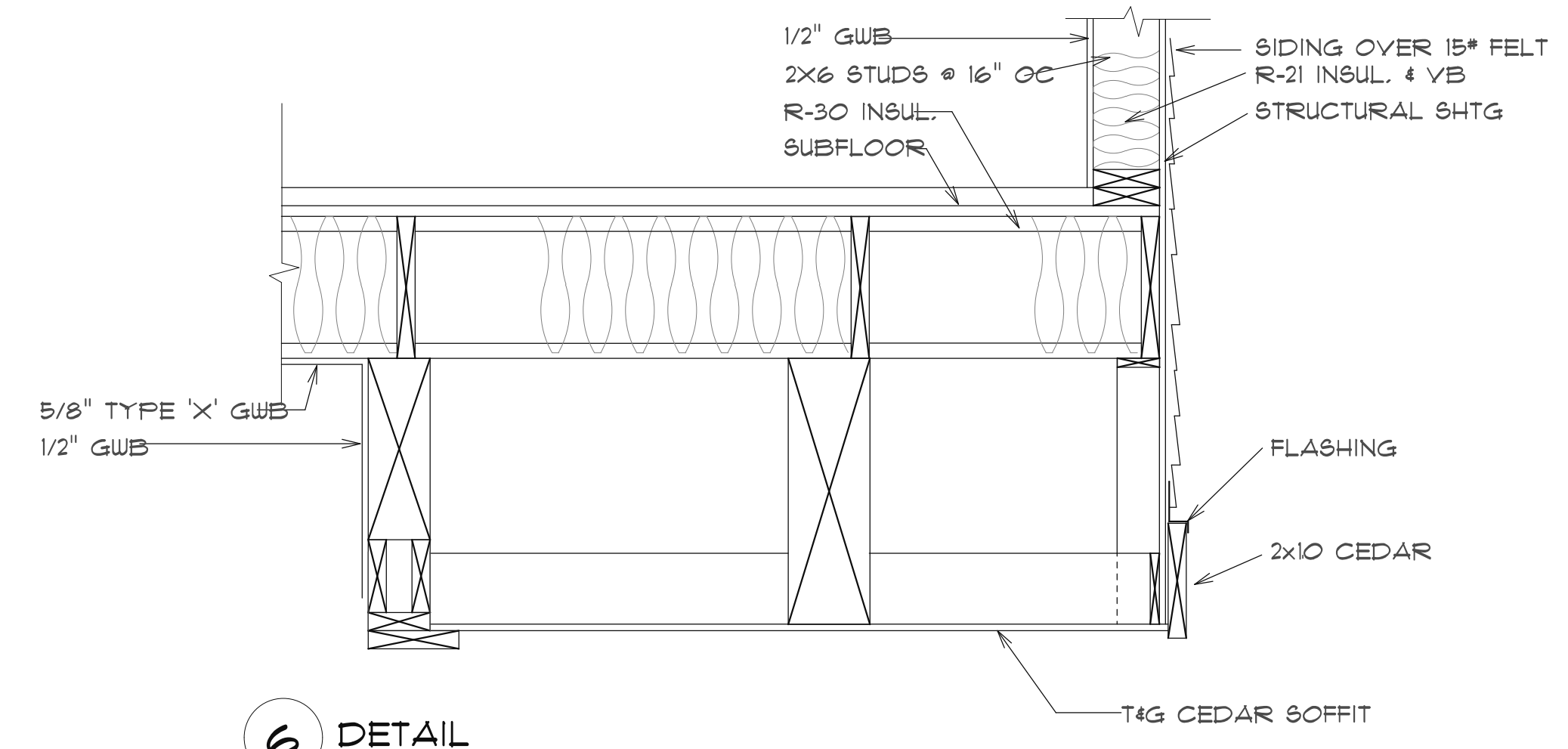
3 DETAIL
SCALE: 1"=1'-0"



4 DETAIL
SCALE: 1"=1'-0"

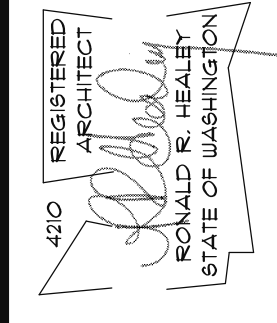


5 DETAIL
SCALE: 1"=1'-0"



6 DETAIL
SCALE: 1"=1'-0"

3
5.4



THE HEALEY ALLIANCE AZ
2505 N 195TH DRIVE, GOODYEAR, AZ 85339 • (480) 444-6768
ARCHITECTS

MI Treehouse, LLC,
5631 EAST MERCER WAY
MERCER ISLAND, WA.

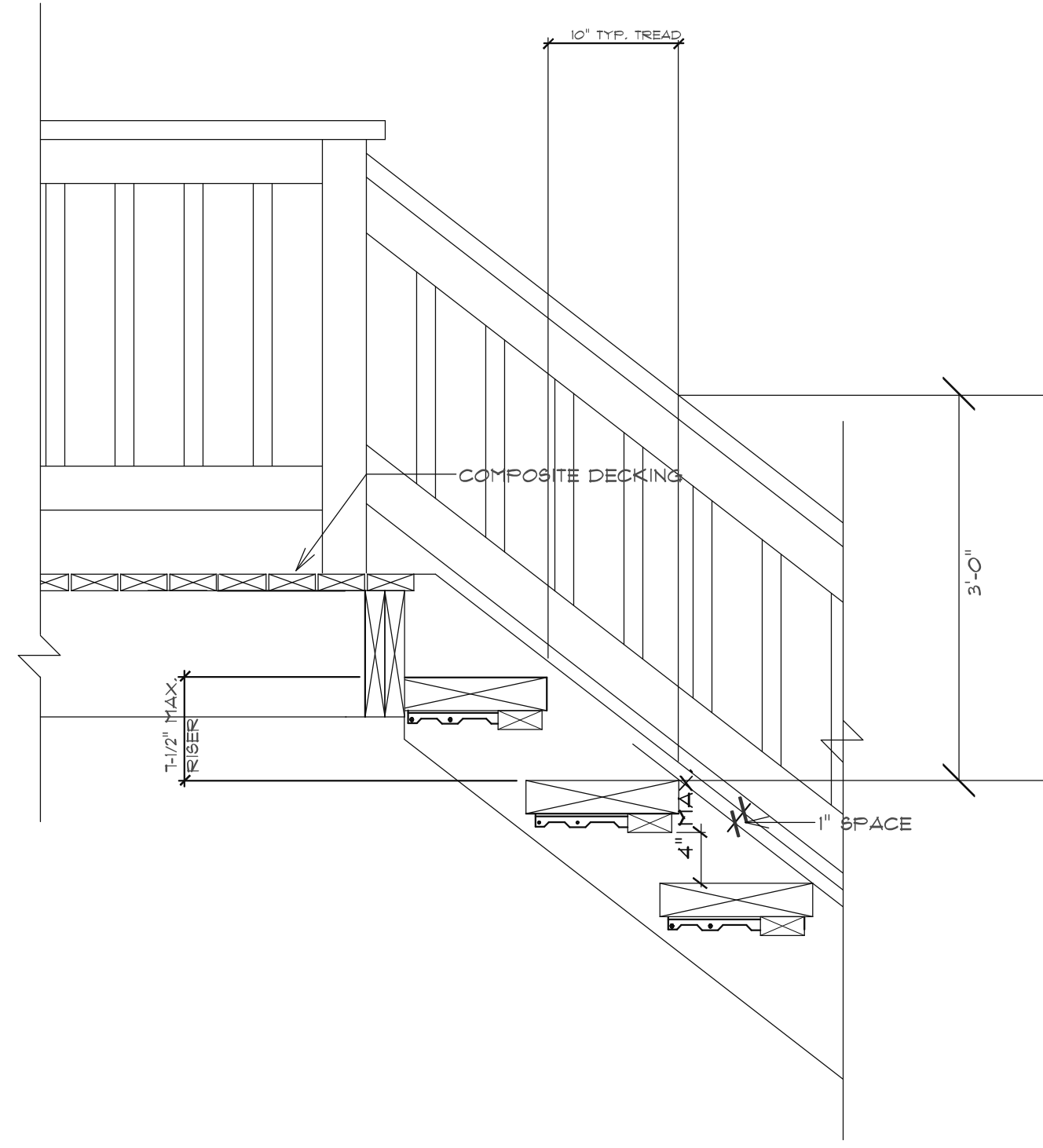
DETAILS

DATE
4-13-2022
10-5-2022

PROJECT NO.
001

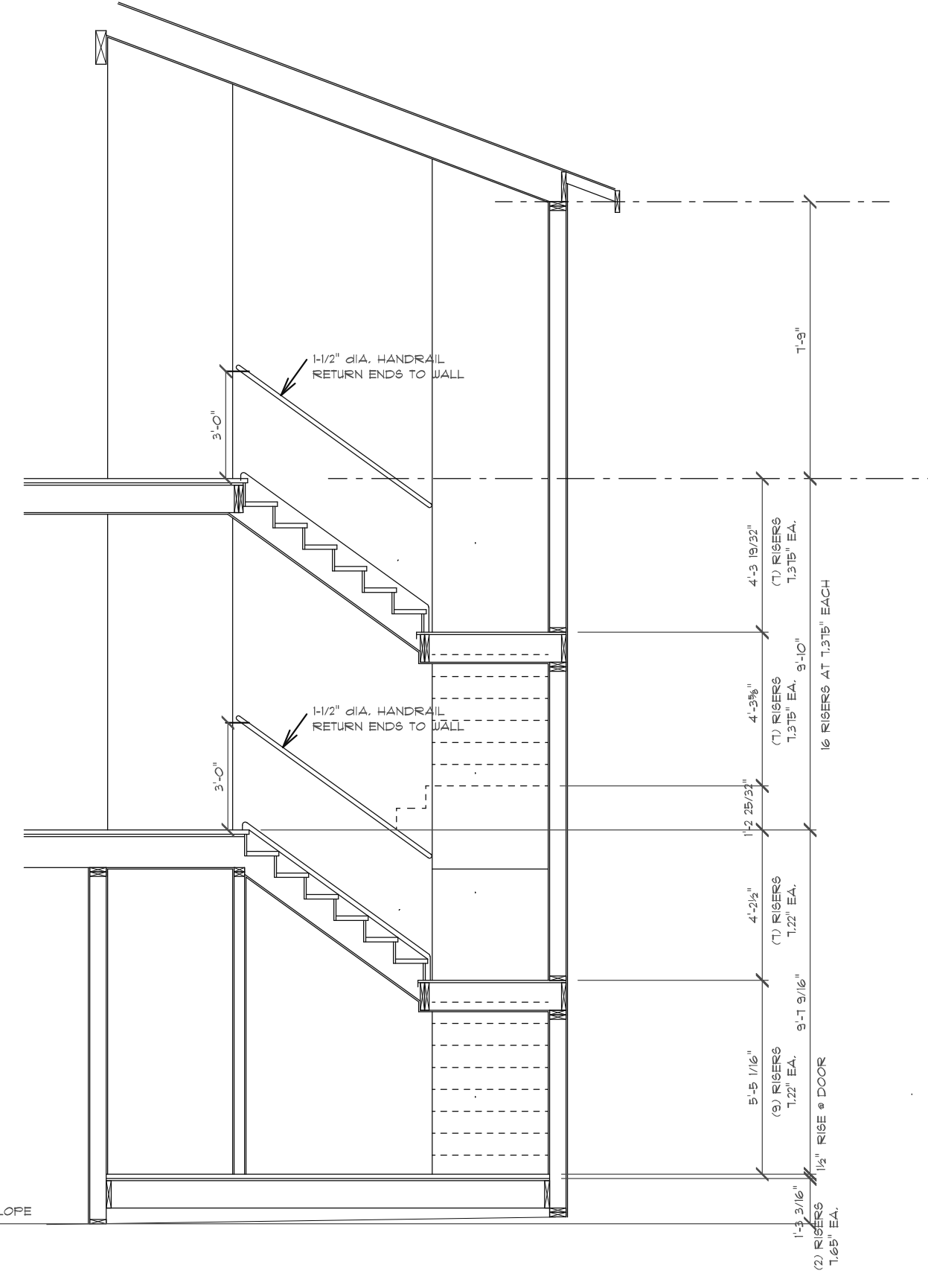
SHEET NO.

A-5.4



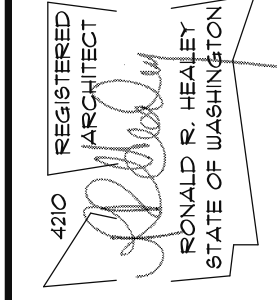
1 STAIR CONNECTION
SCALE: 1/4"=1'-0"

I II



GARAGE

2 STAIR SECTION
SCALE: 1/4"=1'-0"



THE HEALEY ALLIANCE AZ
2505 N. 19TH DRIVE, GOOD PAST, AZ 85508 • (425) 444-9788
ARCHITECTS

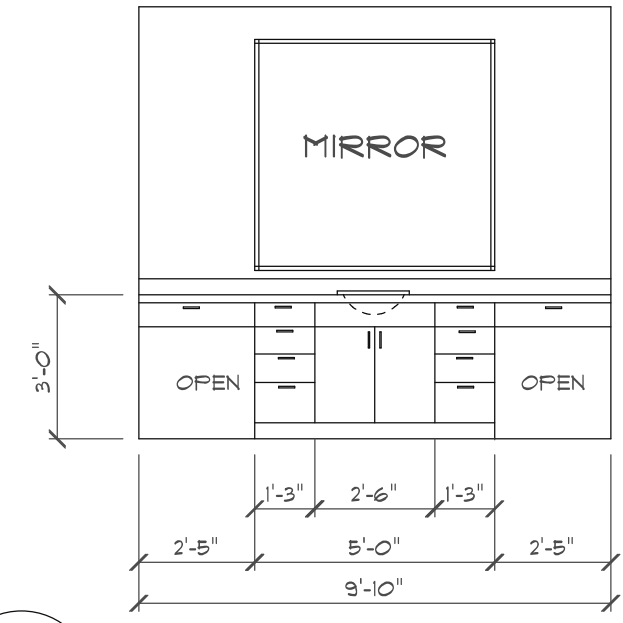
MJ Treehouse, LLC,
5631 EAST MERCER WAY
MERCER ISLAND, WA.

STAIRS SECTION
& DETAILS

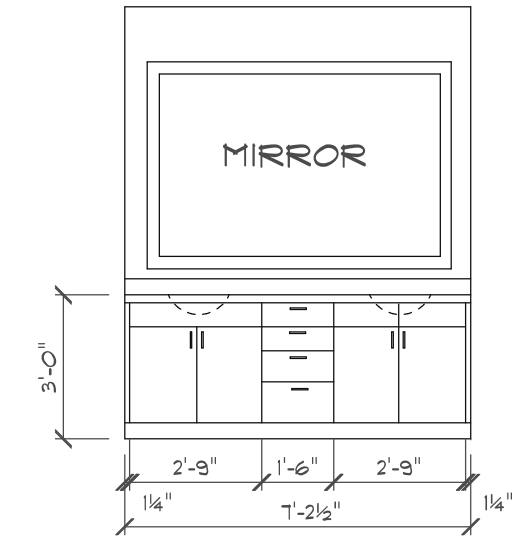
DATE
1-13-2022
10-5-2022

PROJECT NO.
001

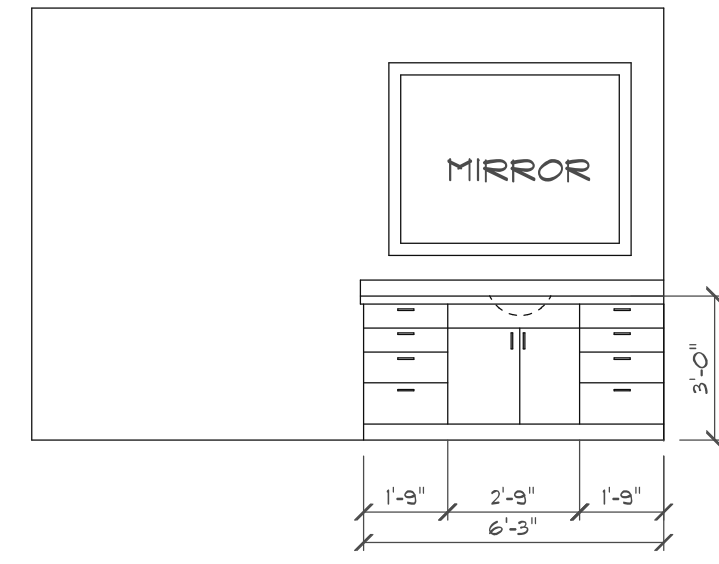
SHEET NO.
A5.5



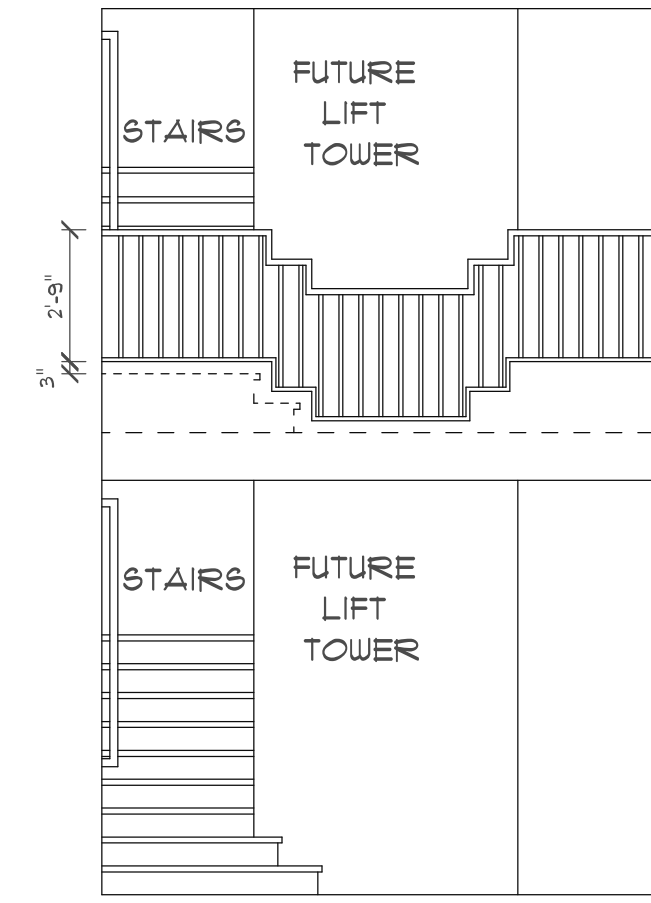
1 POWDER ROOM



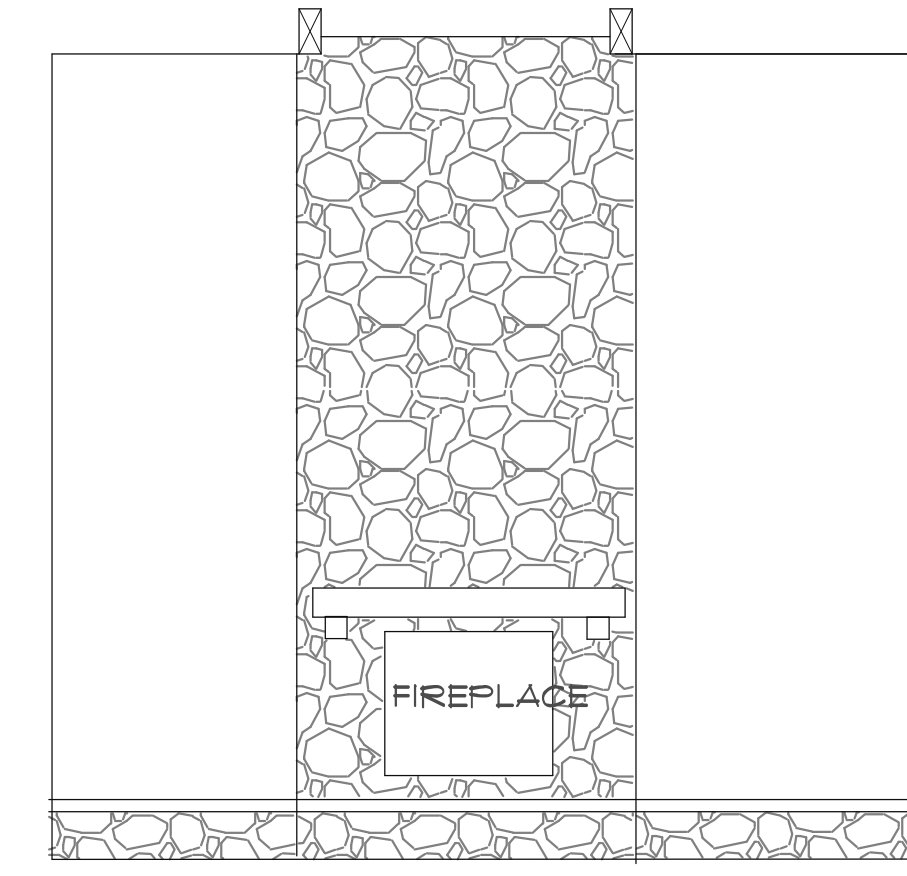
2 BATH CABINETS
BATH #1 & #2



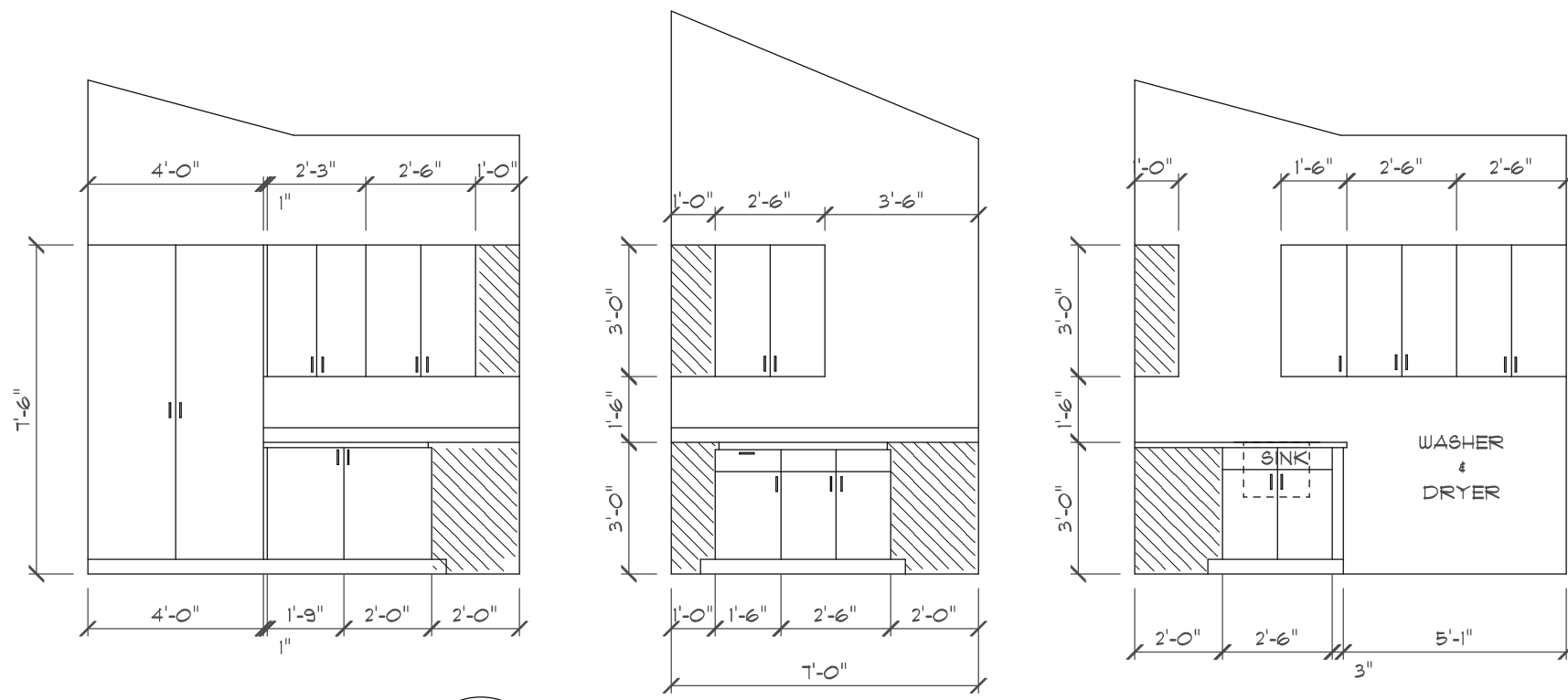
3 BATH CABINETS
BDRM #3



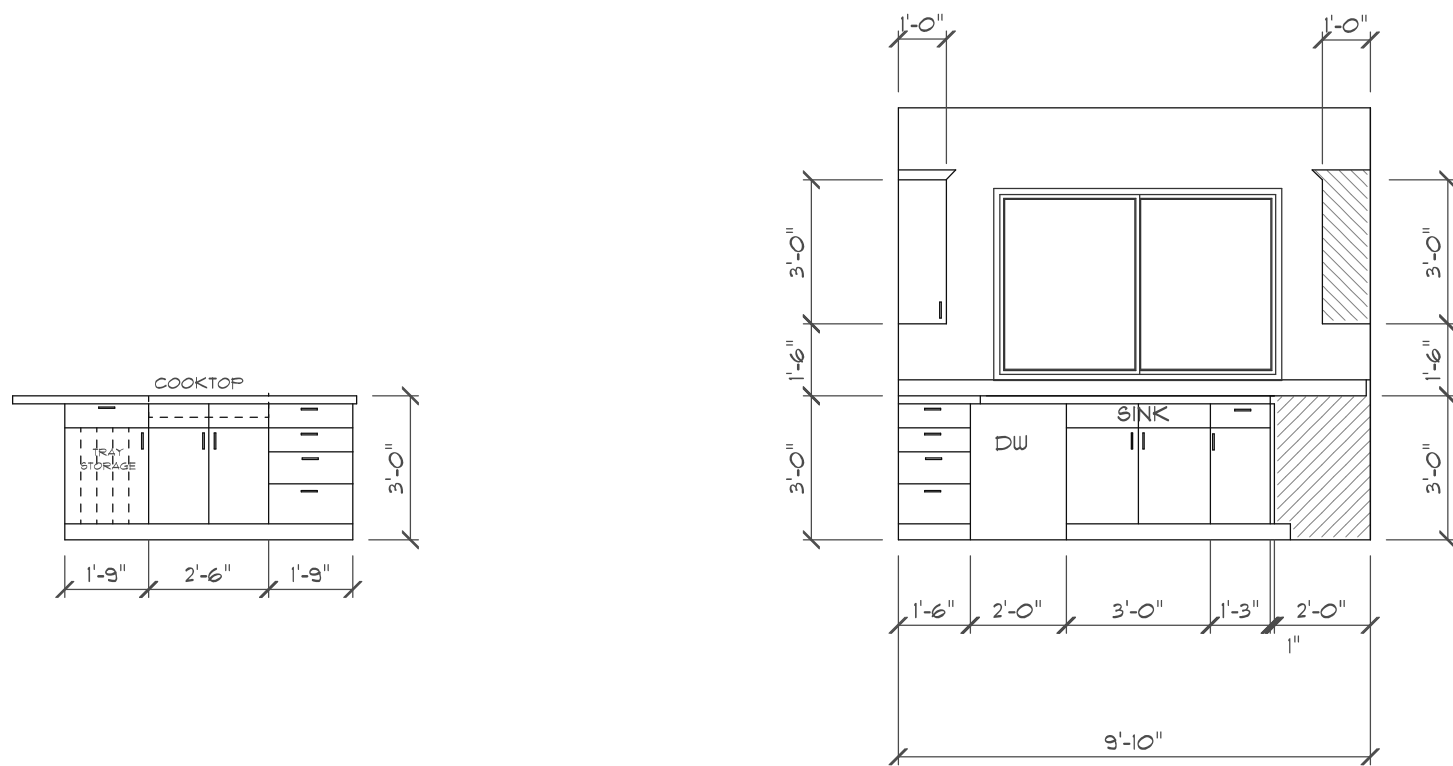
4 ENTRY



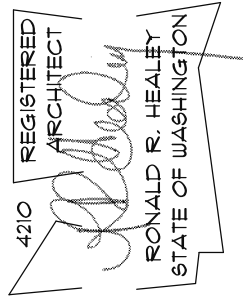
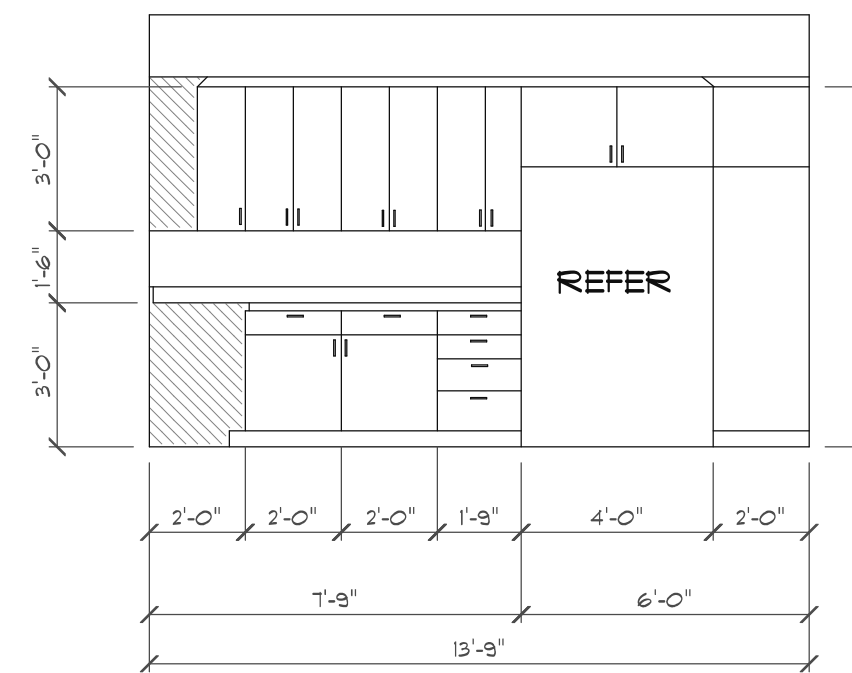
5 FAMILY ROOM

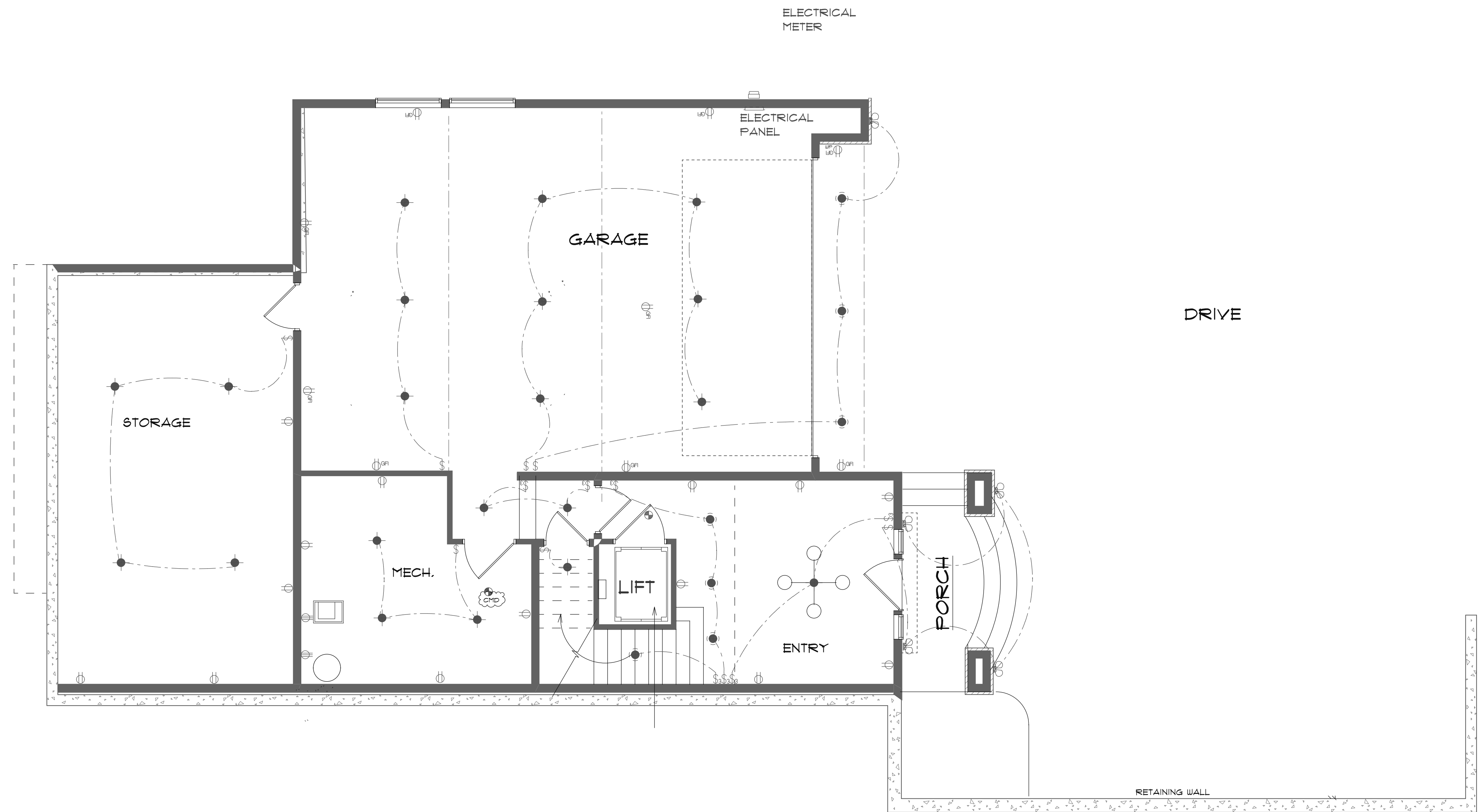


6 LAUNDRY ROOM



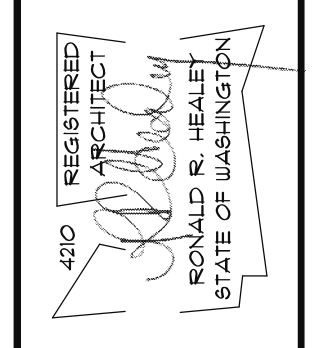
7 KITCHEN CABINETS





ELECTRICAL	SYMBOL
110 v direct connection	⊕
Outlet 110 gfi wp	⊕ _{gfi}
Recessed can	⊙
Recessed directional	⊙ _{dir}
Surface mount	⊙ _{sm}
Wall Mount Flood	⊙ _{wmf}
smoke detector & carbon monoxide det	⊙ _{sm}
Wall mount	⊙ _{wm}
fan	⊙ _f
outlet	⊕
220v	⊕ ₂₂₀
outlet gfi	⊕ _{gfi}
smoke detector	⊙ _{sd}
split receptacle	⊕ _{split}
switch	\$
switch 3 way	\$ ₃

110V, SMOKE DETECTOR W/ BATTERY BACKUP & INTERCONNECTED ALARMS
 WHOLE HOUSE FAN - 100 CFM MIN, VTO
 110V, COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR



THE HEALEY ALLIANCE AZ
 2809 N 19th DRIVE, GOODYEAR, AZ, 85336 • (480) 444-6160
ARCHITECTS

MI Treehouse, LLC,
 5637 EAST MERCER WAY
 MERCER ISLAND, WA.

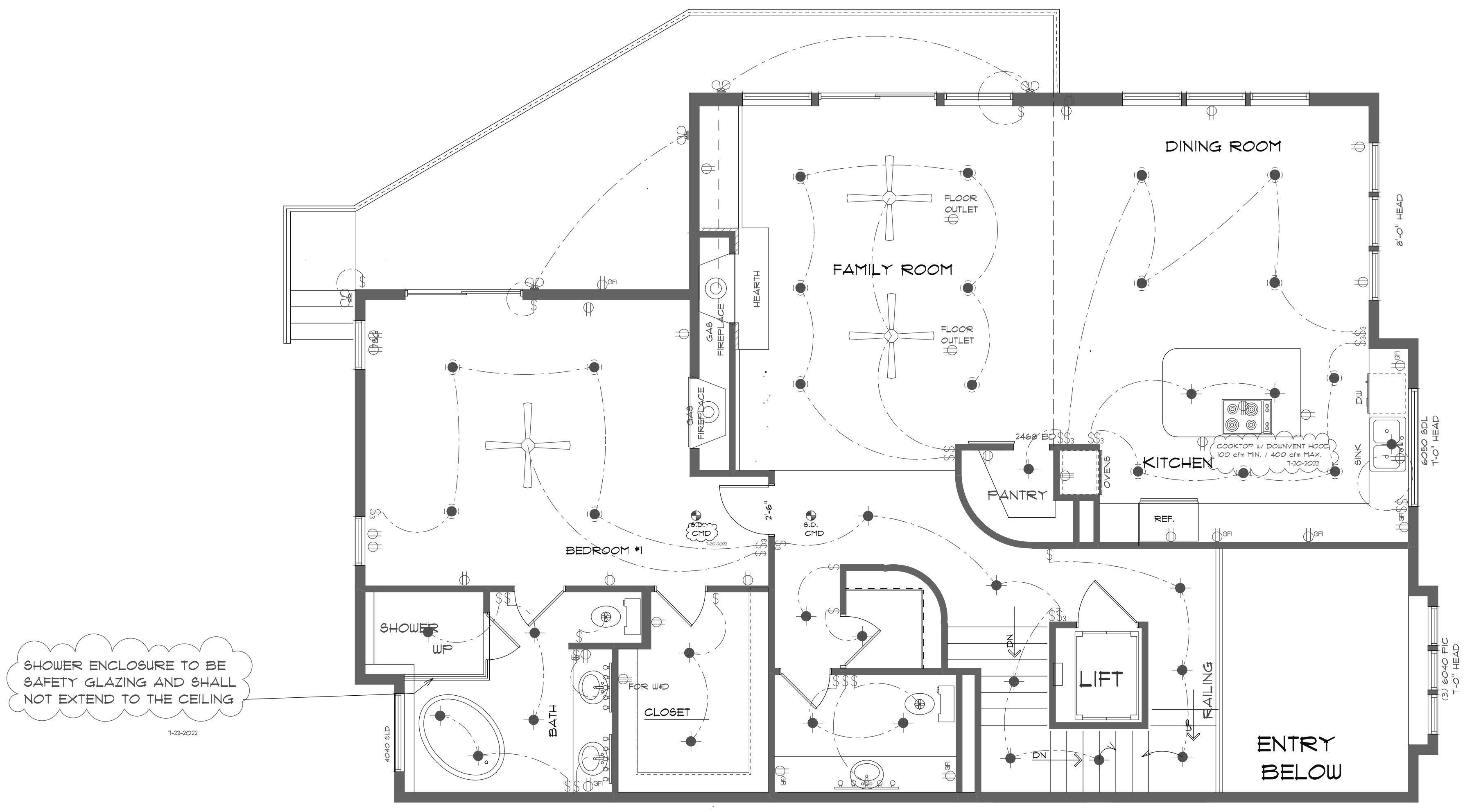
GARAGE ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

DATE
 4-13-2022
 10-5-2022

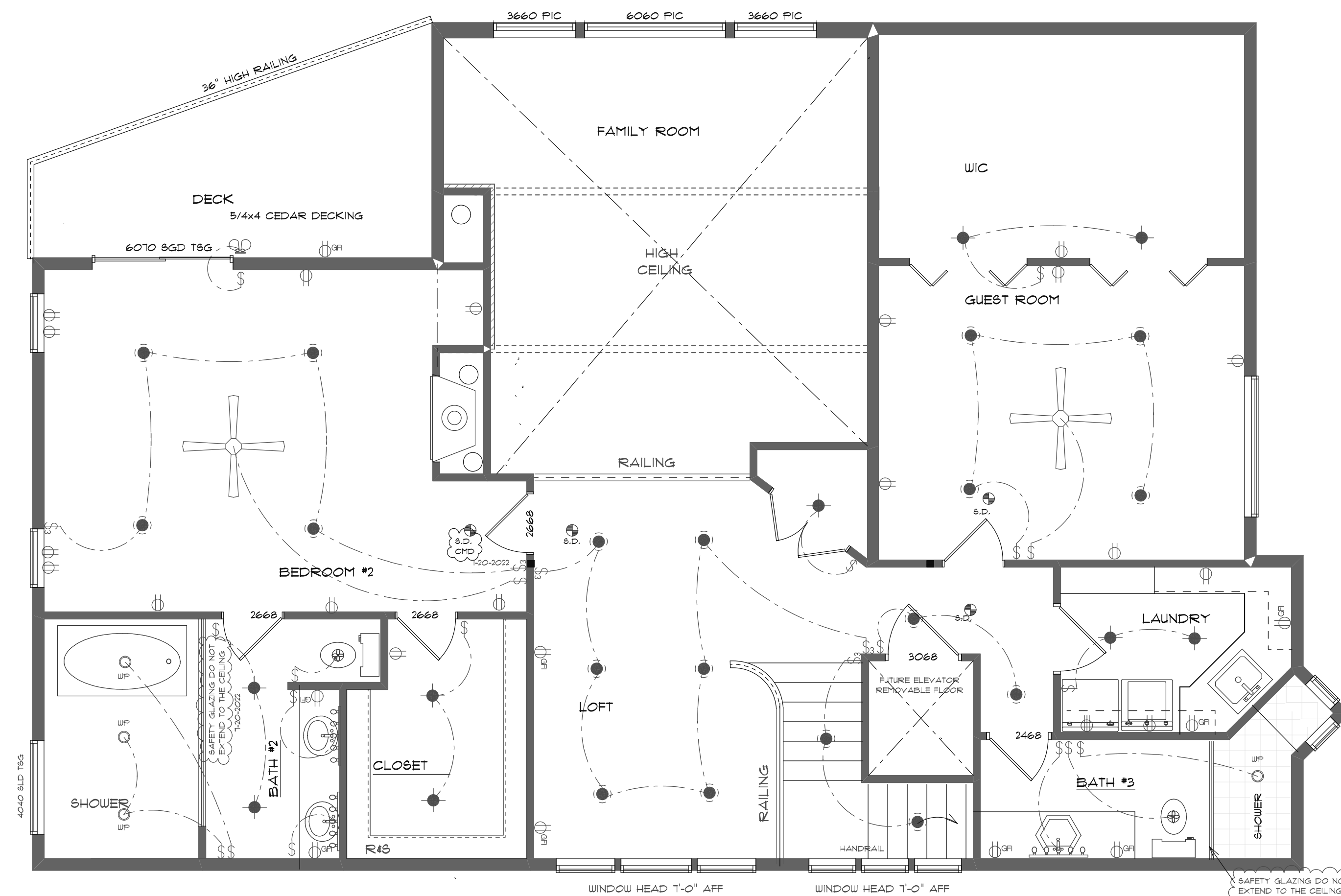
PROJECT NO.
 001

SHEET NO.
A6.2



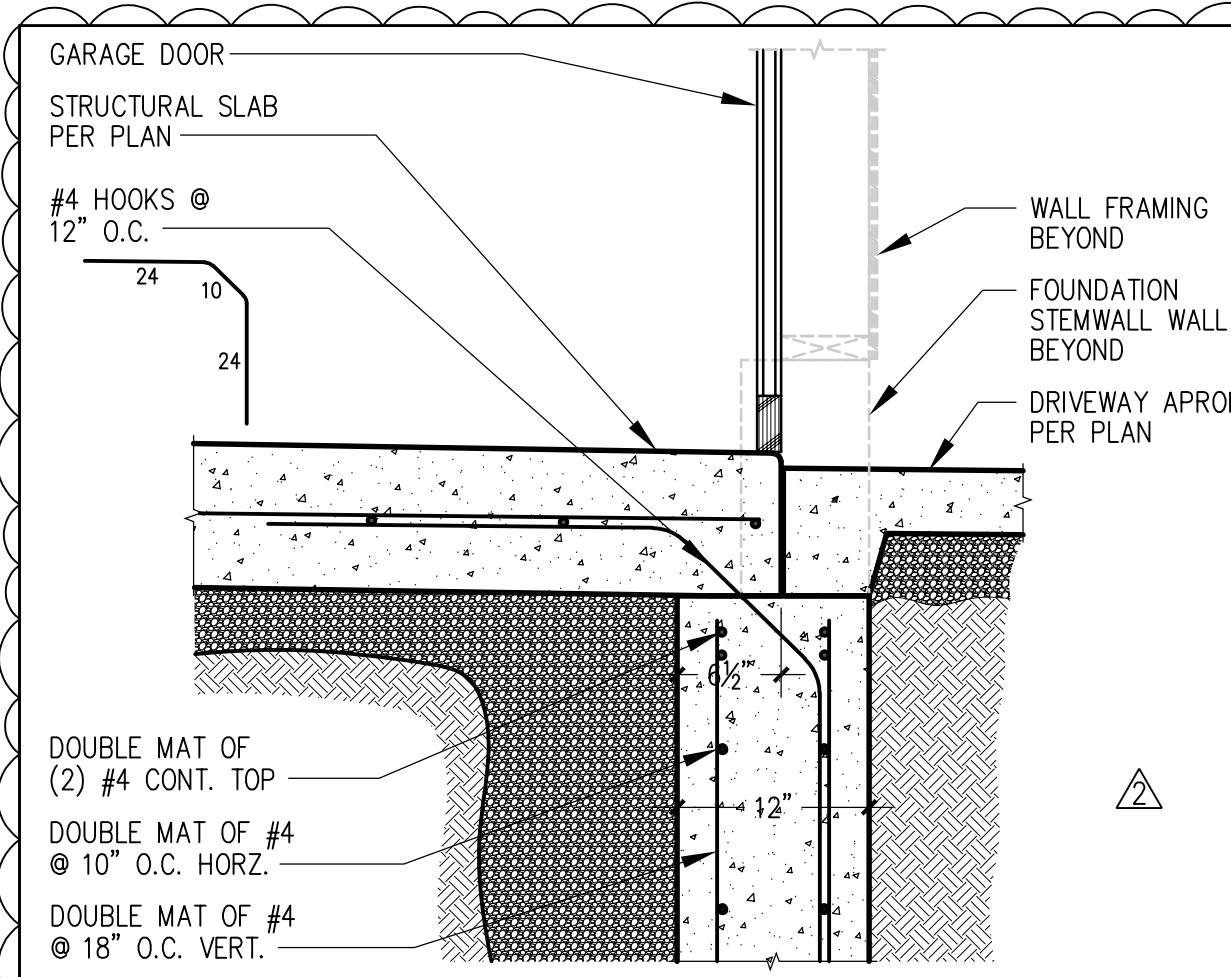
ELECTRICAL	SYMBOL
110 v direct connection	⊕
Outlet 110 gfi wp	⊕ _{WP}
Recessed can	⊙
Recessed directional	⊙ _{DIR}
Surface mount	⊙ _S
Wall Mount Flood	⊕ _{WF}
smoke detector & carbon monoxide det.	⊕ _{SD}
Wall mount	⊕ _W
Fan 50 CFM min. outlet	⊕ _{FAN}
220v	⊕ ₂₂₀
outlet gfi	⊕ _{GFI}
smoke detector	⊕ _{SD}
split receptacle	⊕ _S
switch	\$
switch 3 way	\$ ₃

110V, SMOKE DETECTOR W/ BATTERY BACKUP & INTERCONNECTED ALARMS
 WHOLE HOUSE FAN - 100 CFM MIN, VTO
 110V, COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR

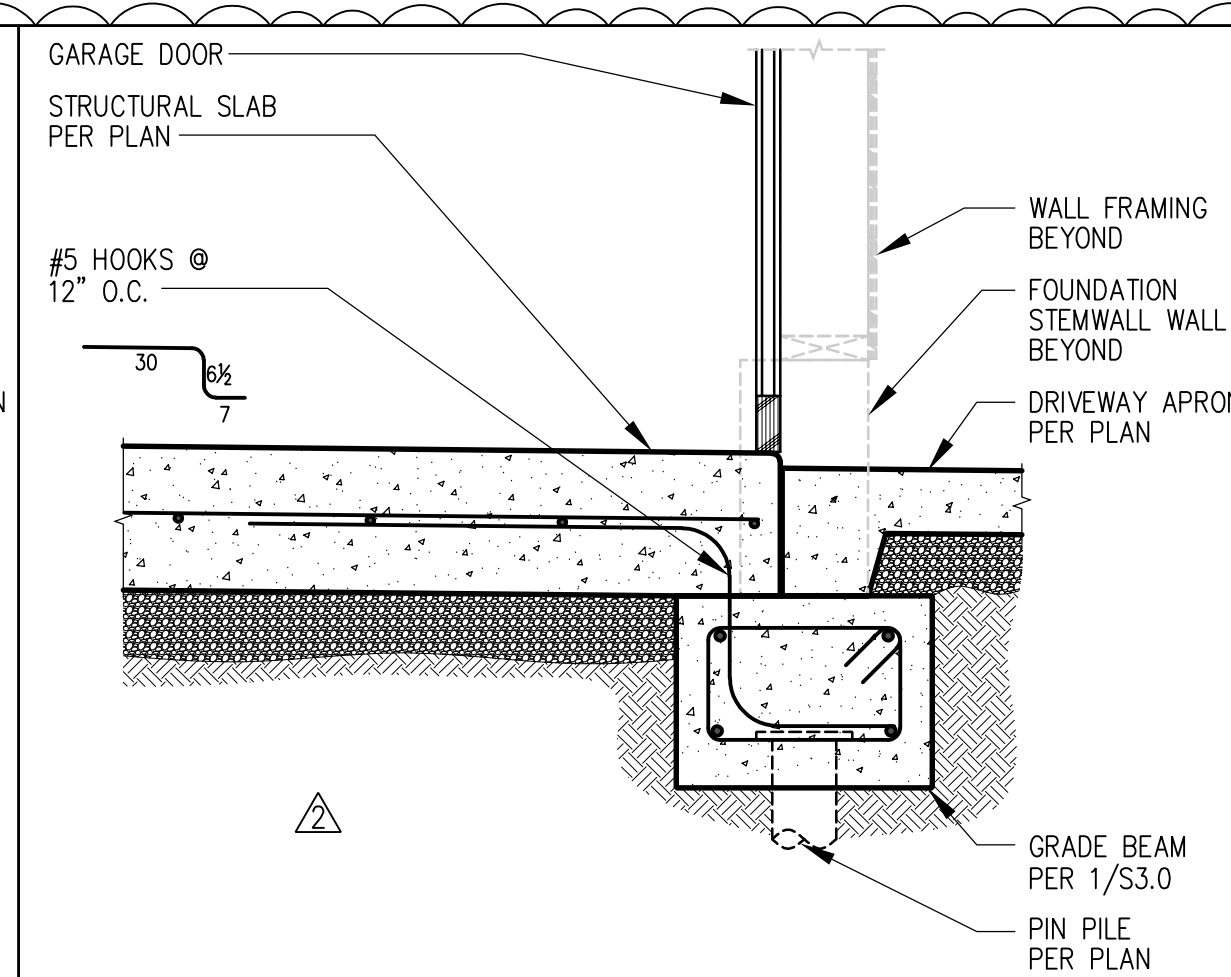


ELECTRICAL	SYMBOL
110 v direct connection	⊕
Outlet 110 gfi up	⊕ _{gfi}
Recessed can	●
Recessed directional	●
Surface mount	●
Wall Mount Flood	⊕
smoke detector & carbon monoxide det.	⊕
Wall mount	⊕
fan	⊕
outlet	⊕
220v	⊕
outlet gfi	⊕ _{gfi}
smoke detector	⊕
split receptacle	⊕
switch	⊕
switch 3 way	⊕

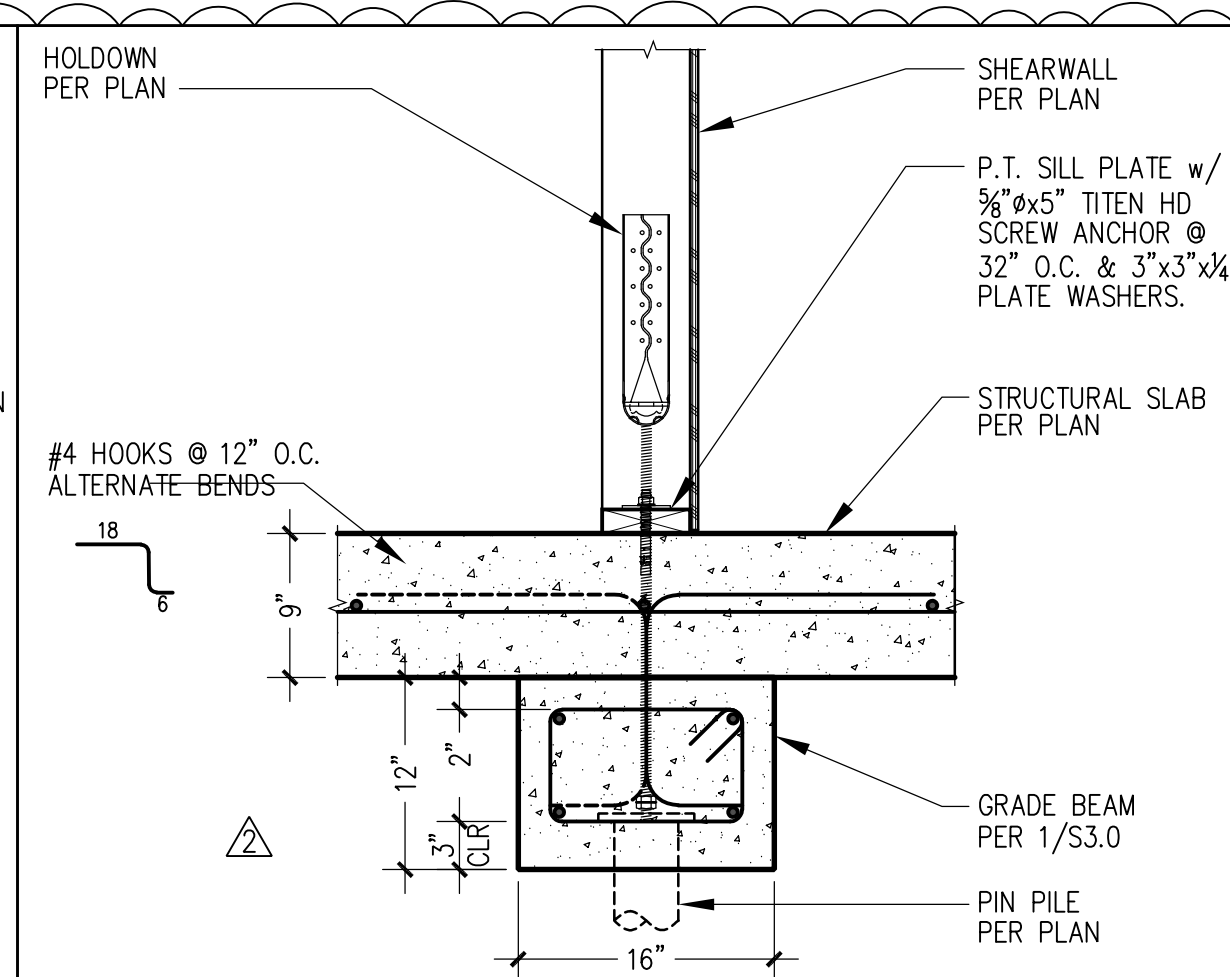
110V, SMOKE DETECTOR W/ BATTERY BACKUP & INTERCONNECTED ALARMS
 WHOLE HOUSE FAN - 100 CFM MIN, VTO
 110V, COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR



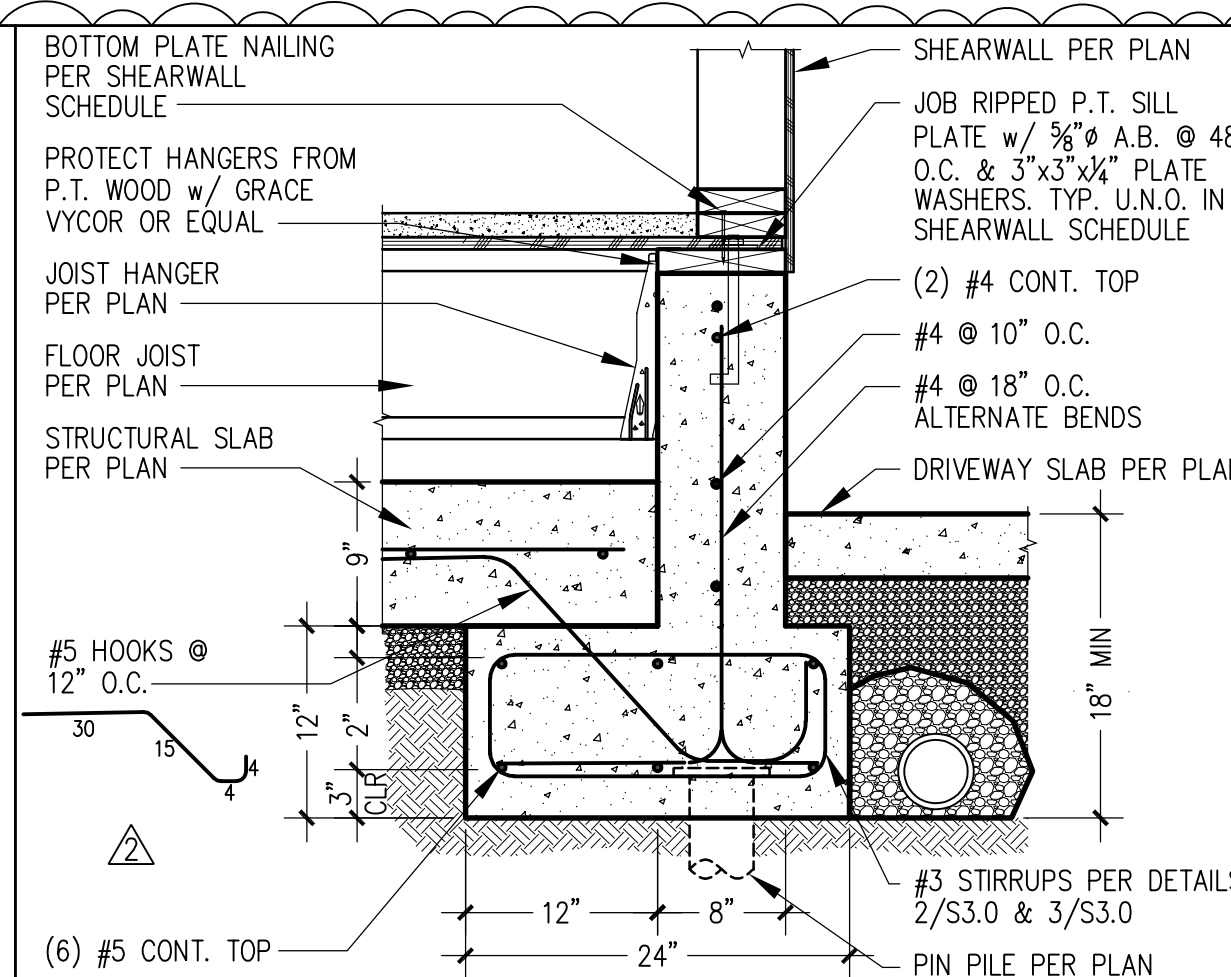
1 GARAGE SLAB @ FOUNDATION WALL (UNHEATED SLAB)



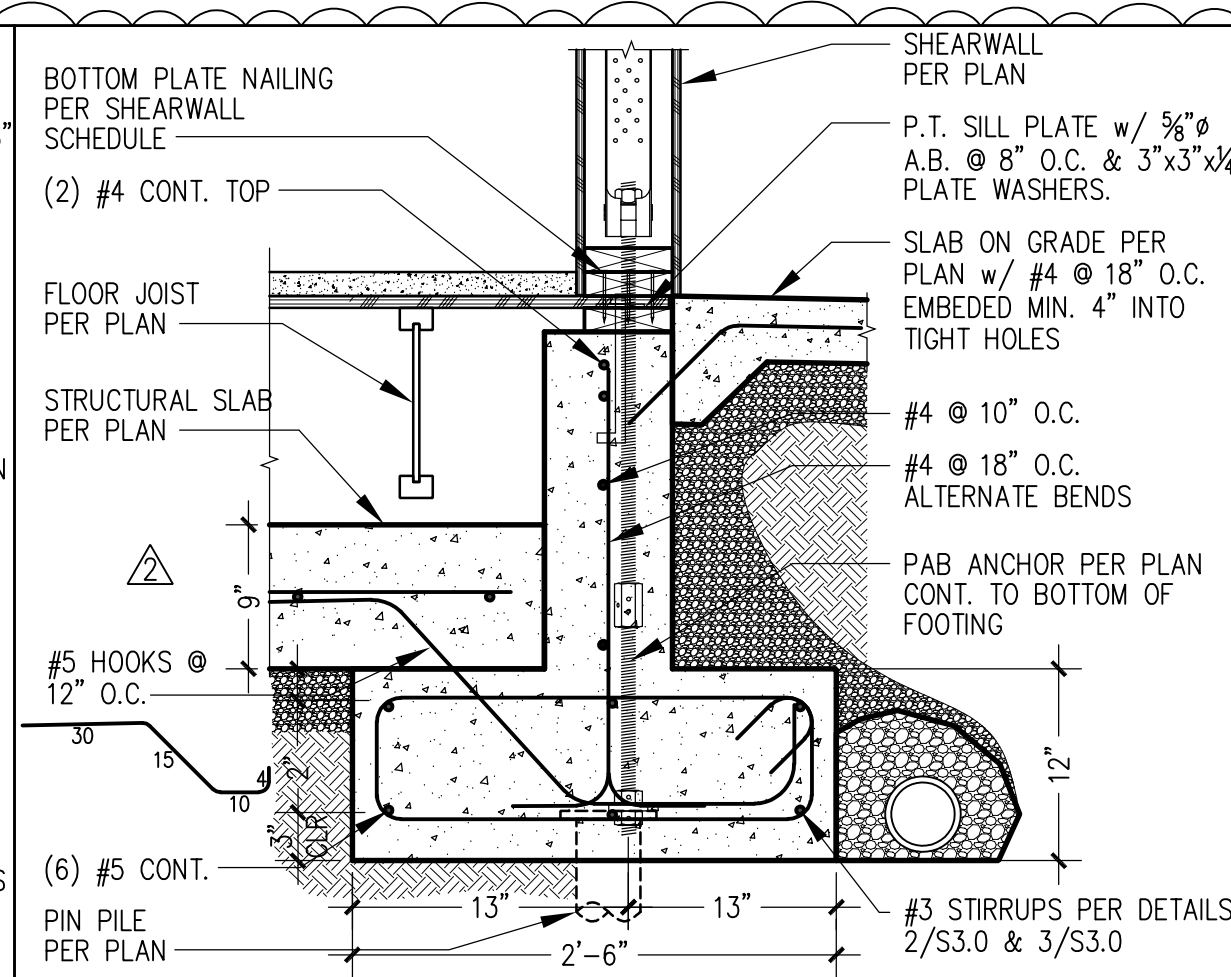
2 GARAGE SLAB @ FOUNDATION WALL (UNHEATED SLAB)



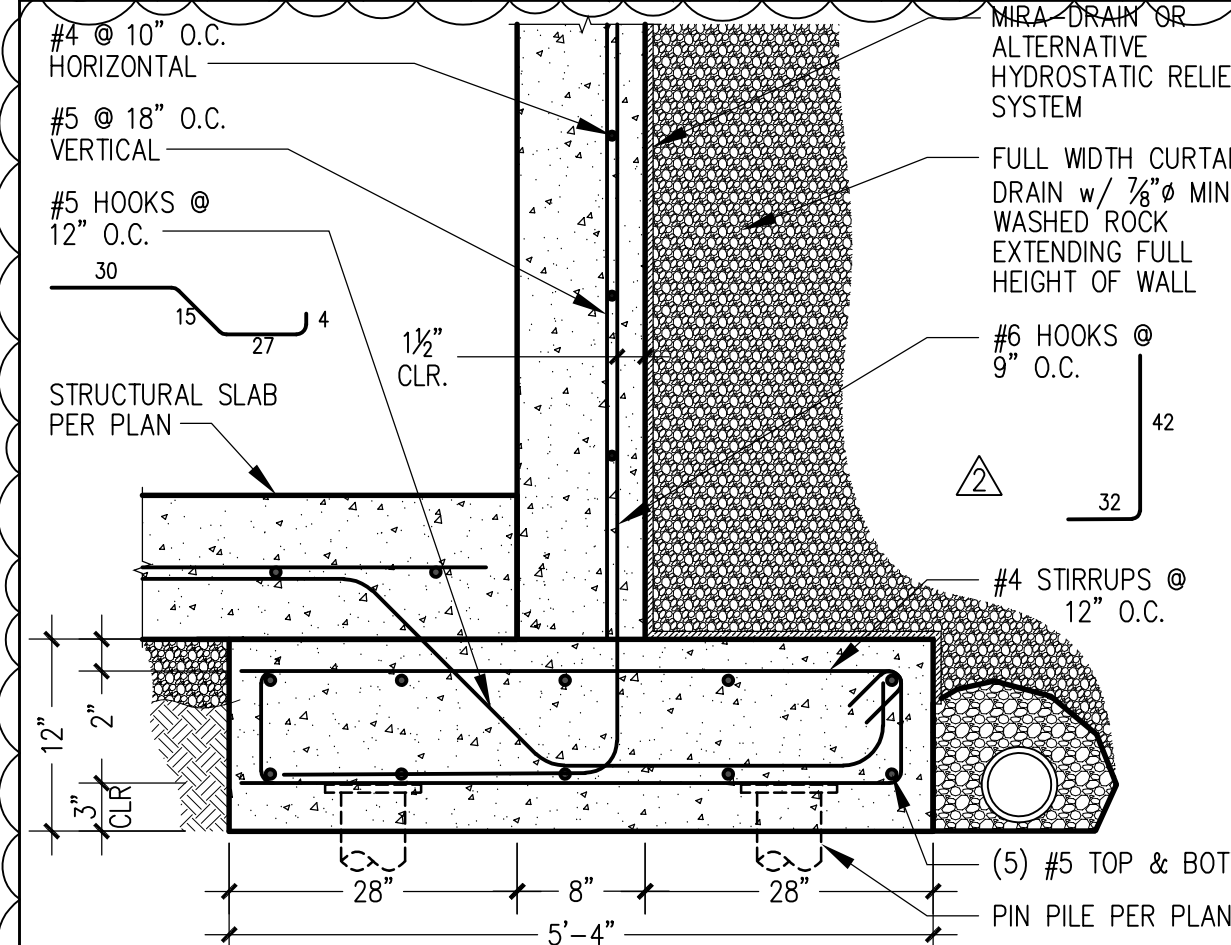
3 SHEARWALL @ TYP. SLAB



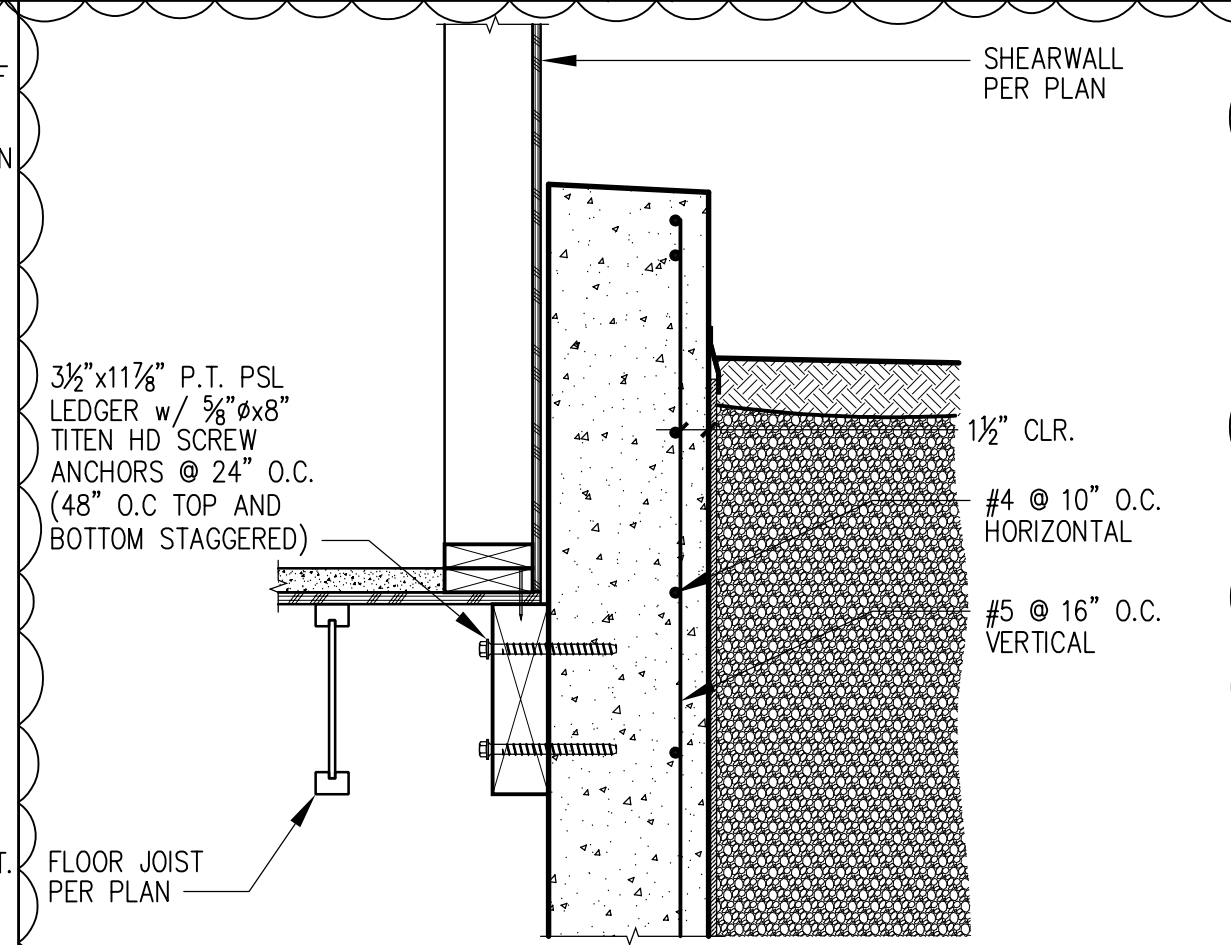
4 RAISED FOUNDATION @ ENTRY (PERPENDICULAR 11 1/2\"/>



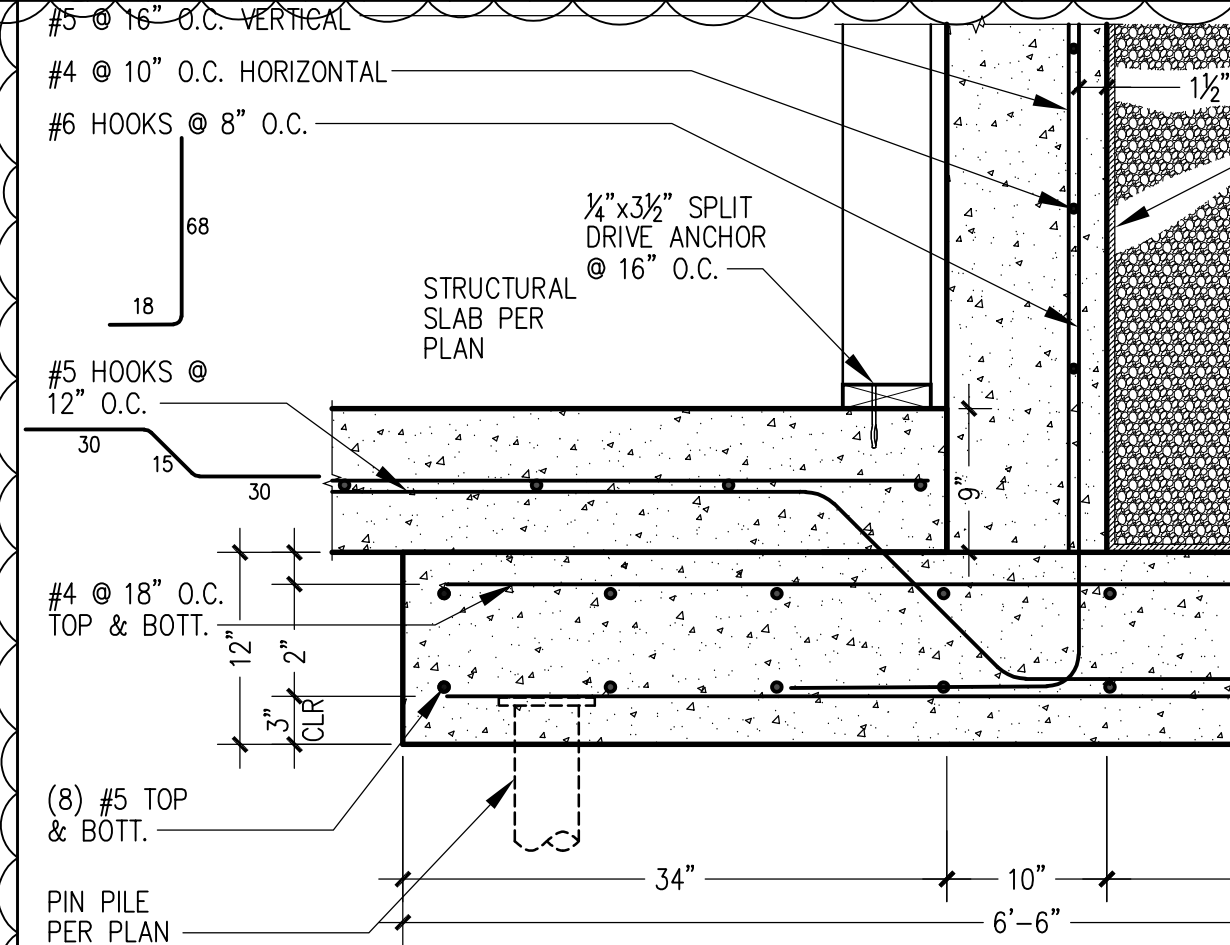
5 PAB ANCHOR @ RAISED FNDN. @ ENTRY (PARALLEL 11 1/2\"/>



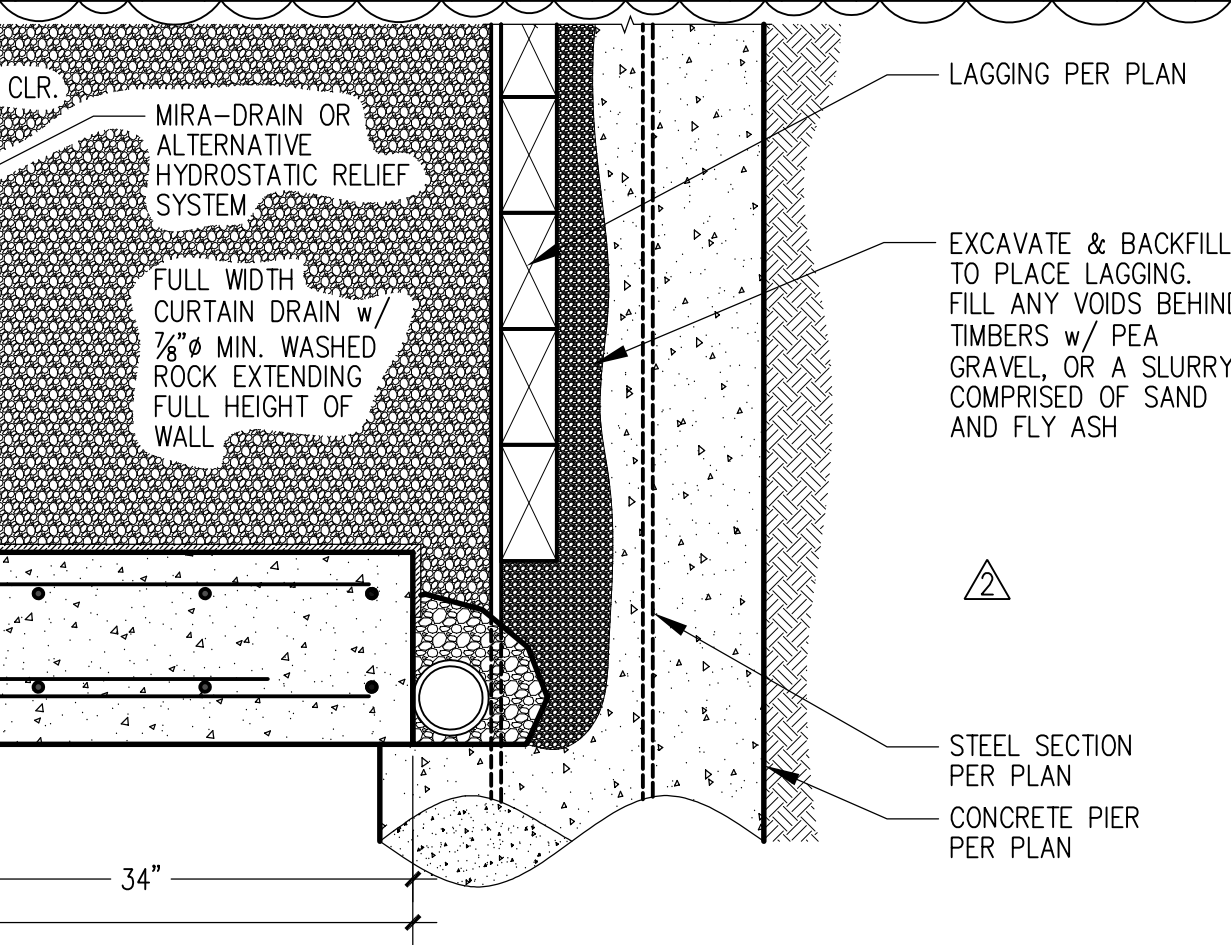
6 STORAGE WALL FOOTING



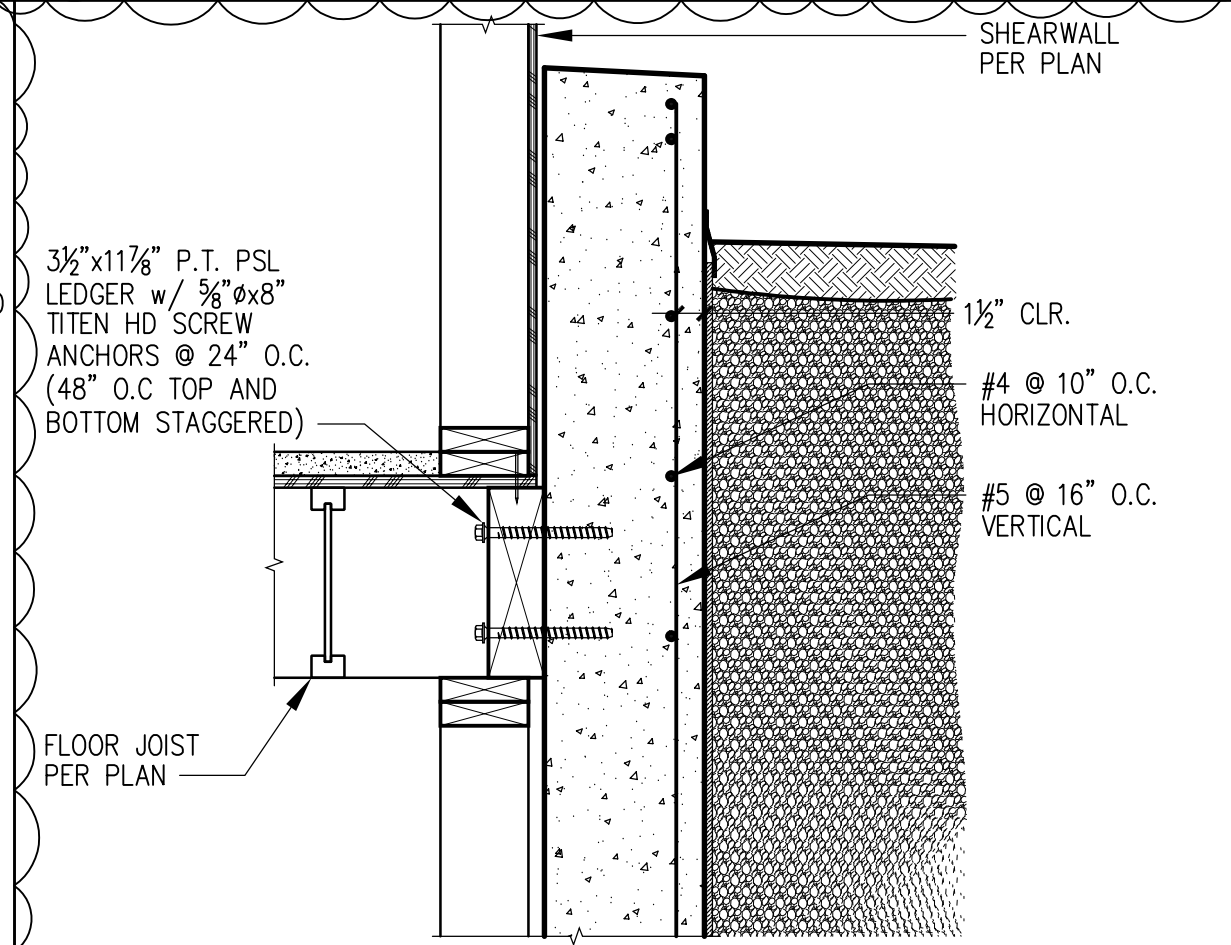
7 FLOOR FRAMING @ RAISED FOUNDATION (PARALLEL 11 1/2\"/>



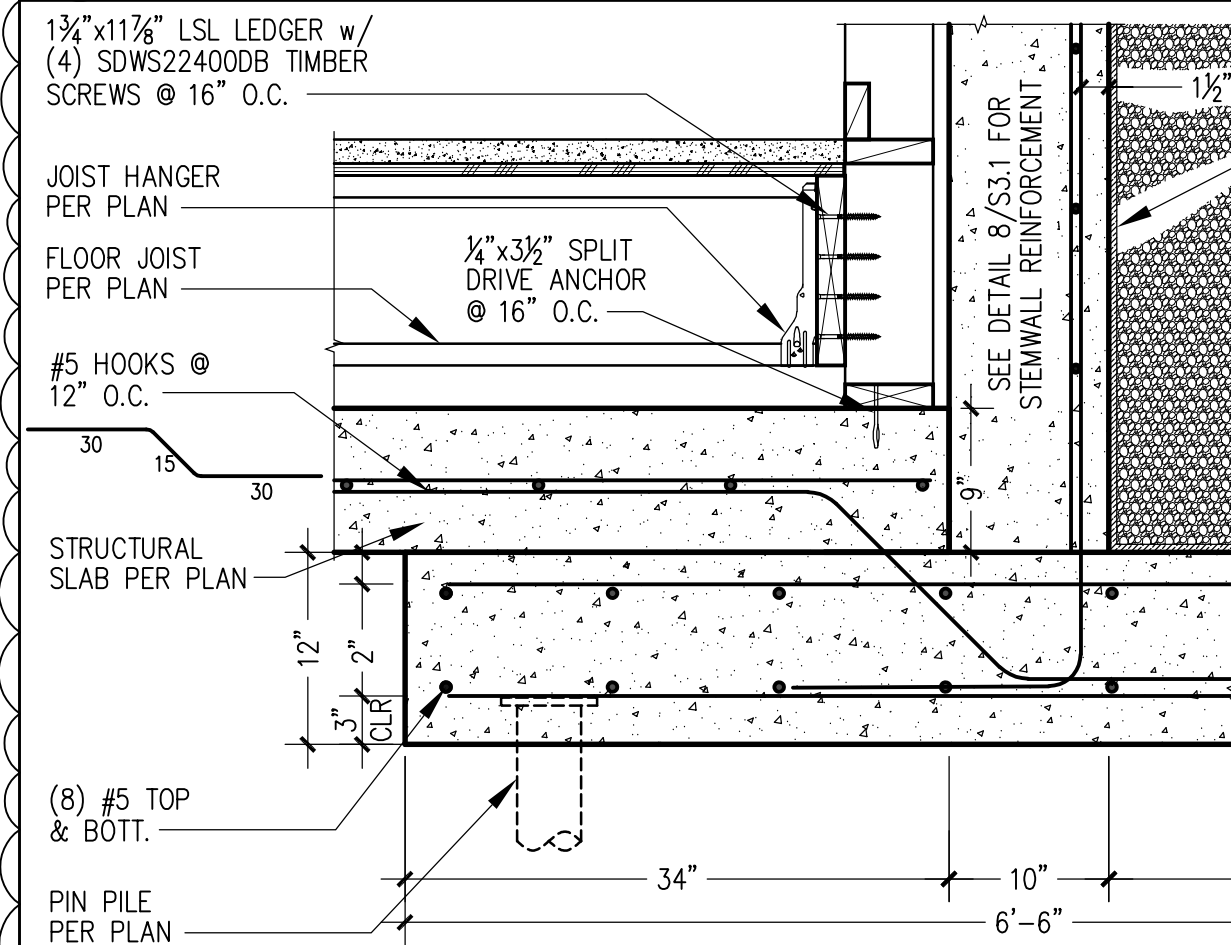
8 BASEMENT WALL FOOTING (MECHANICAL ROOM)



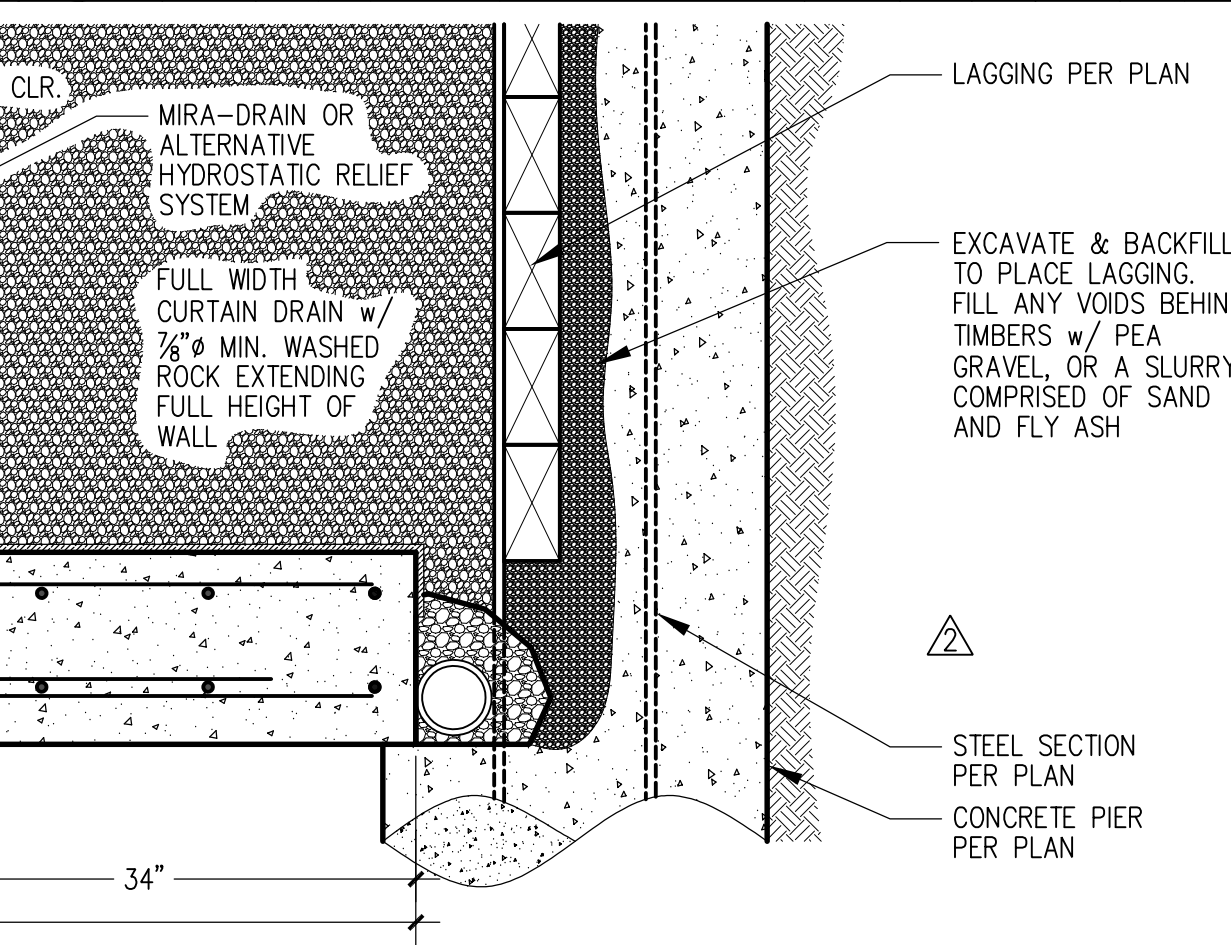
9 FLOOR FRAMING @ RAISED FOUNDATION (PARALLEL 11 1/2\"/>



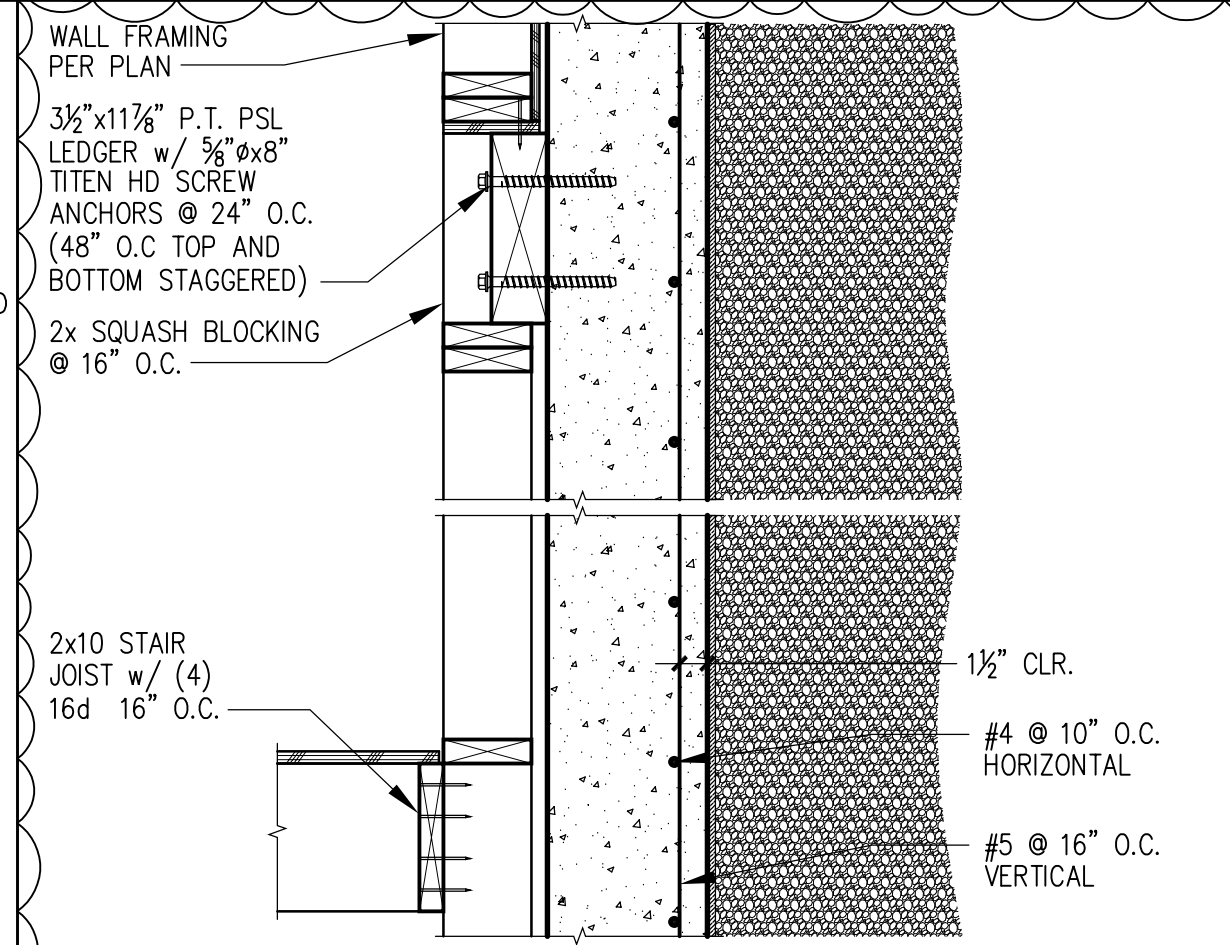
10 BASEMENT WALL FOOTING (ENTRYWAY)



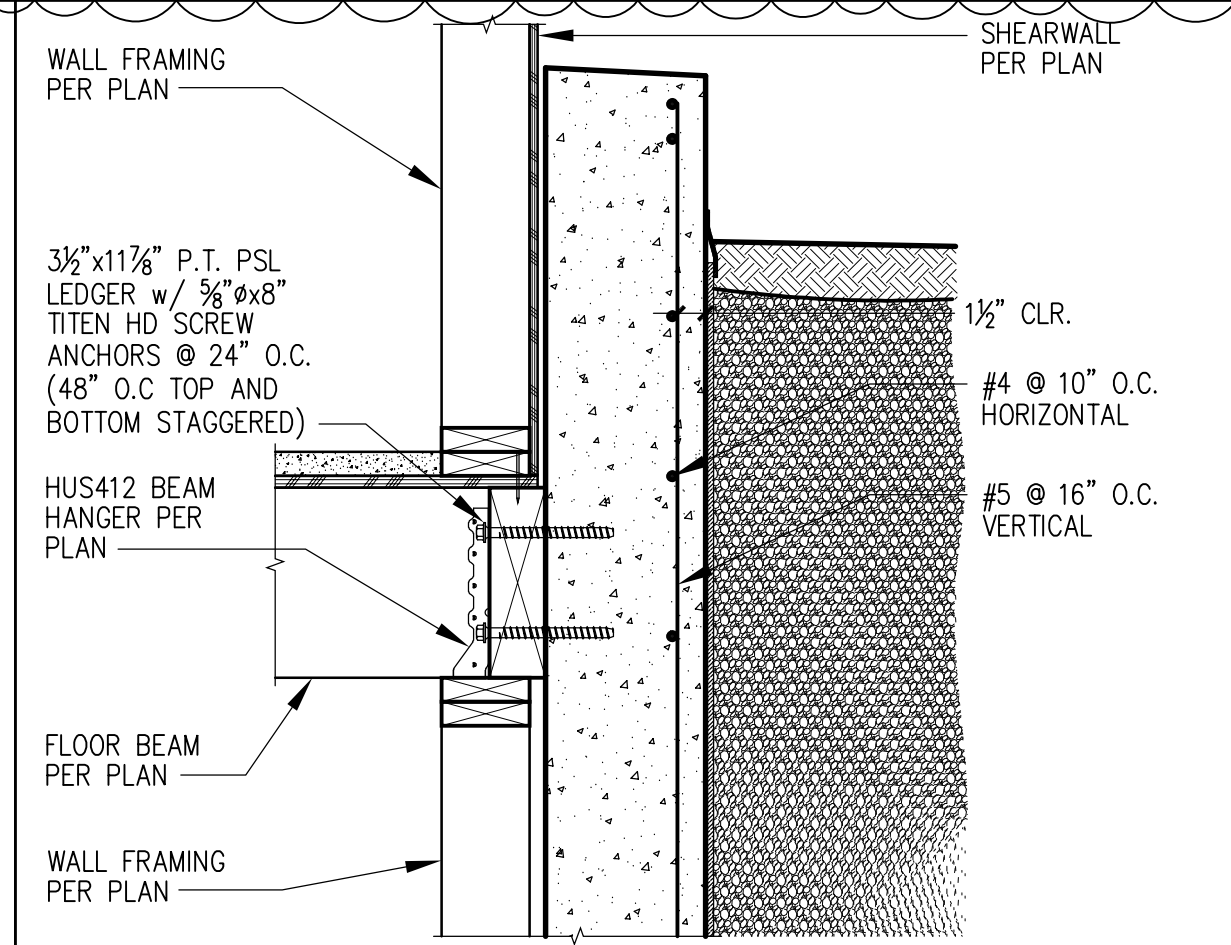
11 STAIR LANDING FRAMING @ RAISED FNDN. (PARALLEL 11 1/2\"/>



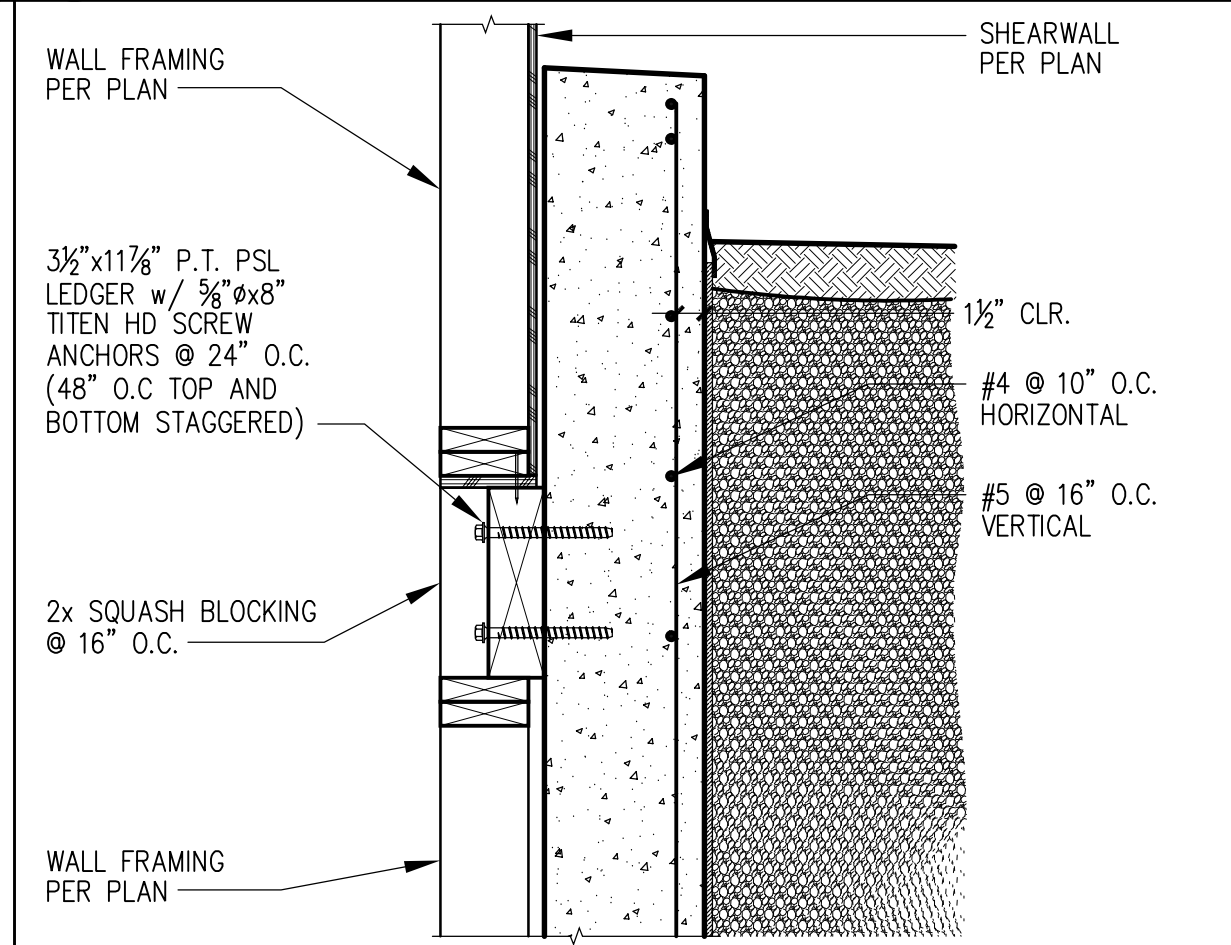
12 FLOOR FRAMING @ RAISED FOUNDATION (PARALLEL 11 1/2\"/>



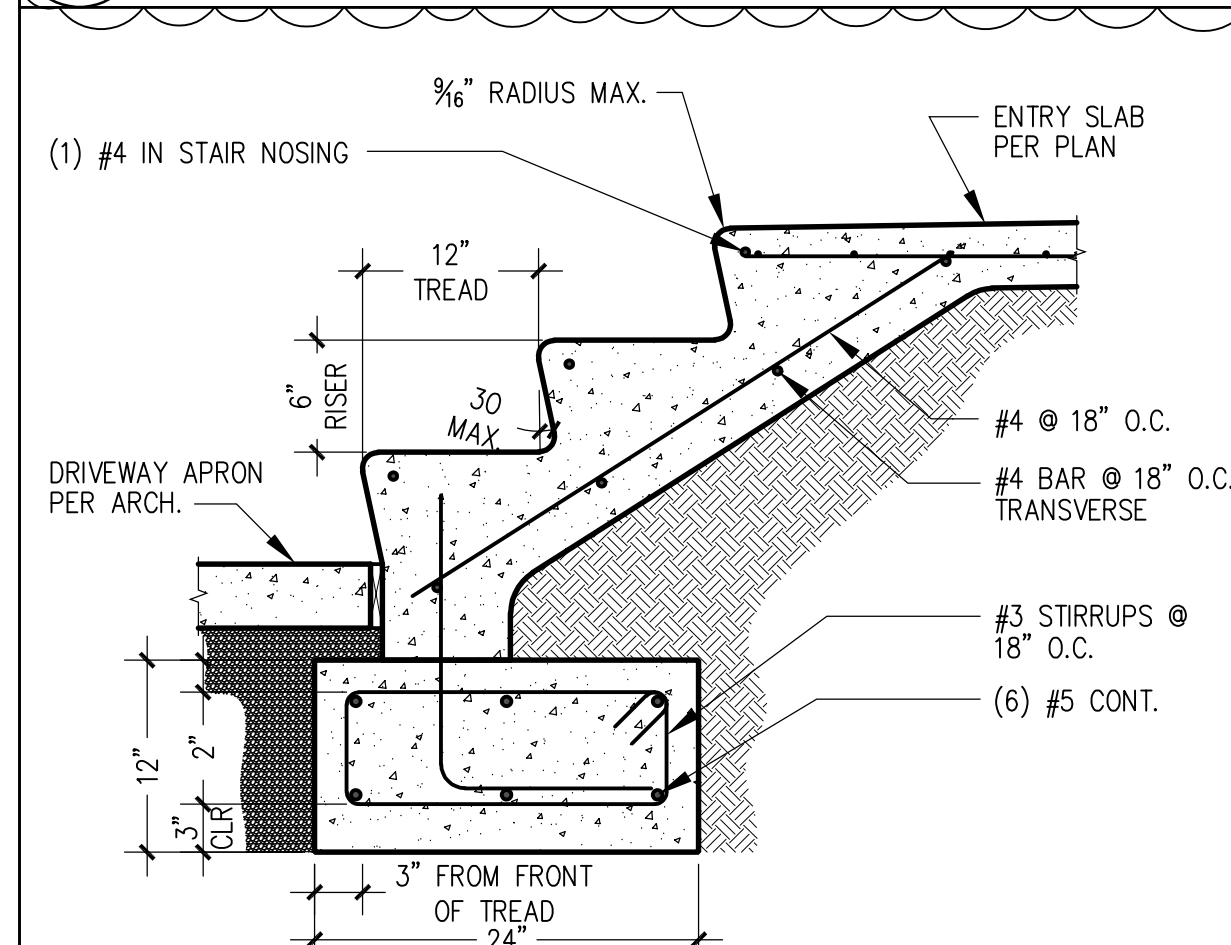
13 BALLOON WALL FRAMING @ RAISED FNDN.



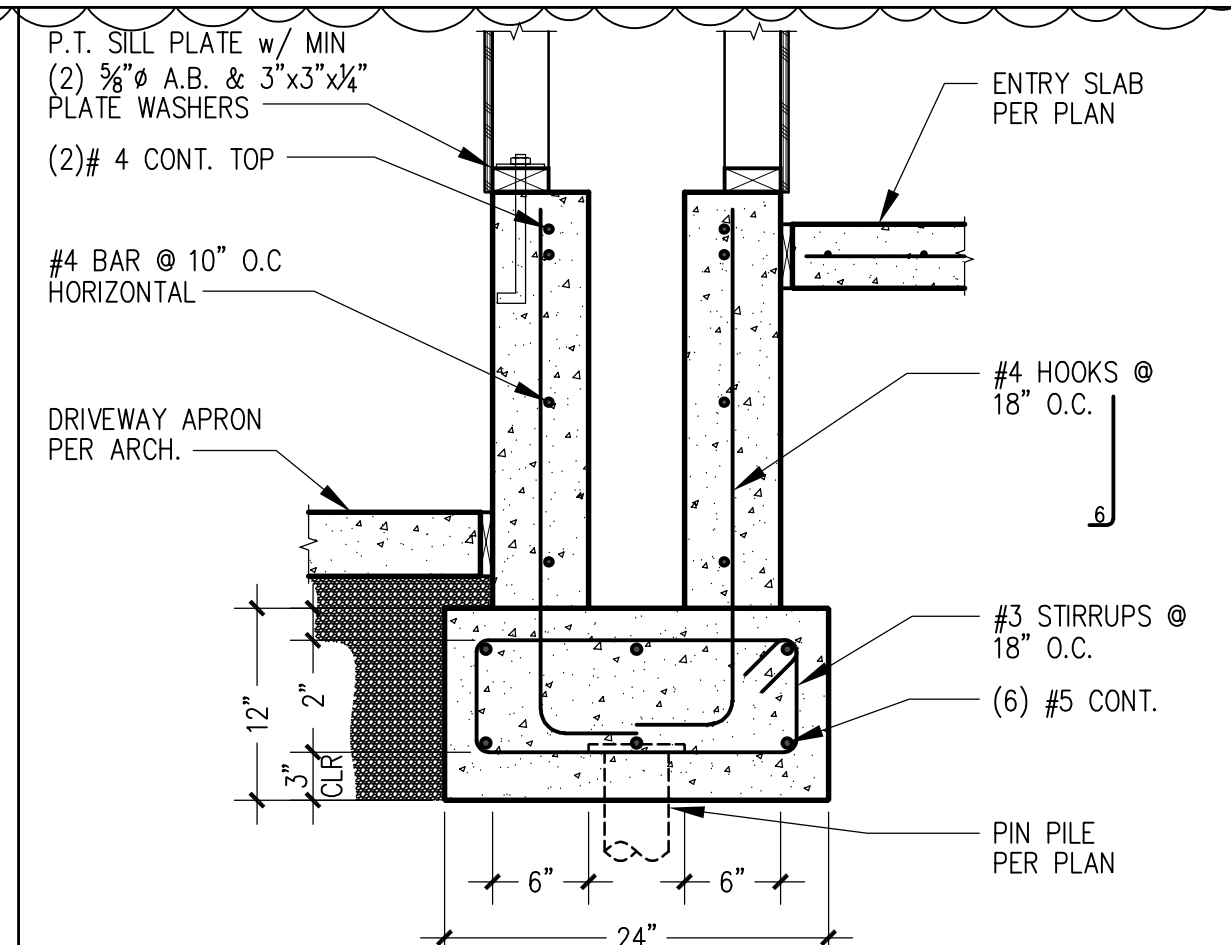
14 CONCRETE STAIRS @ GRADE BEAM



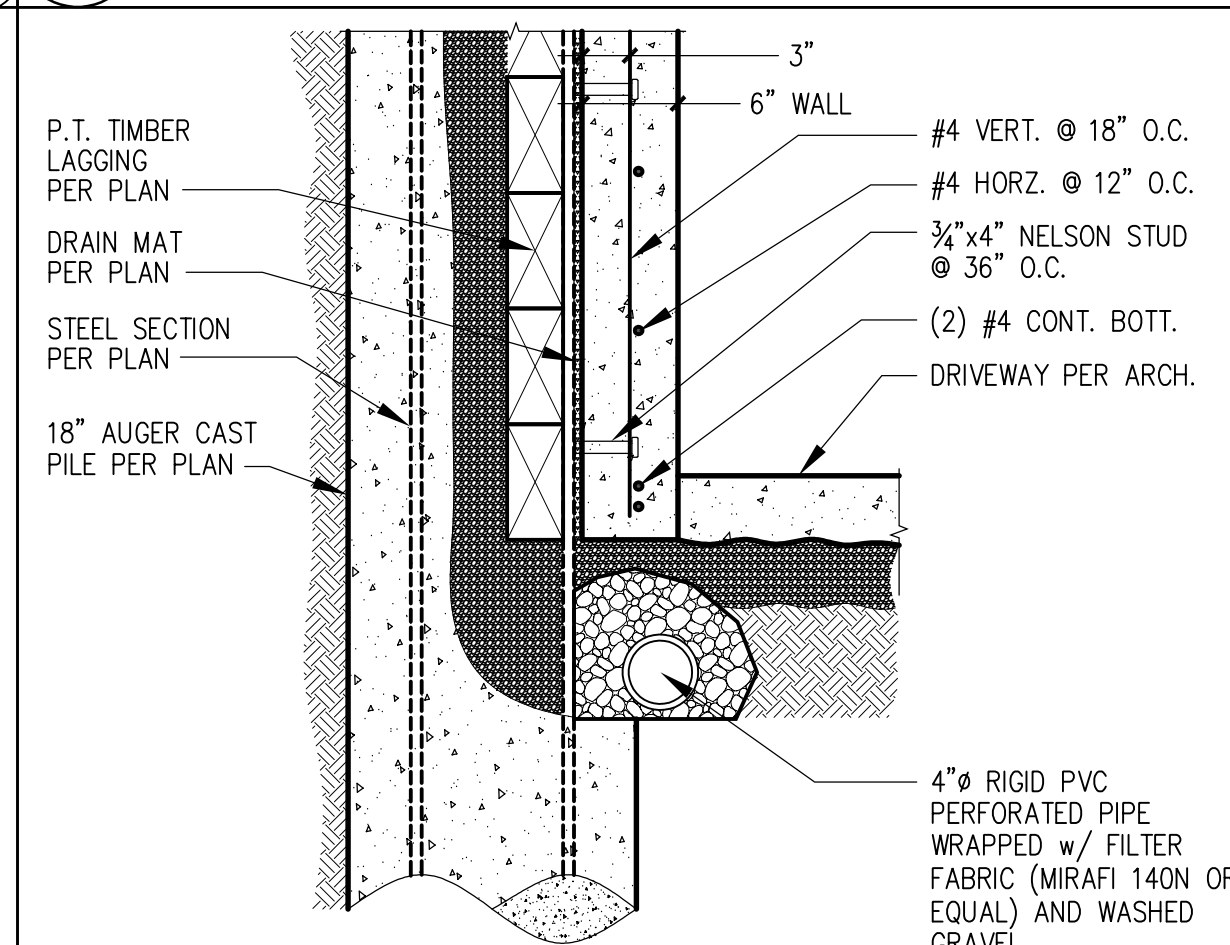
15 24\"/>



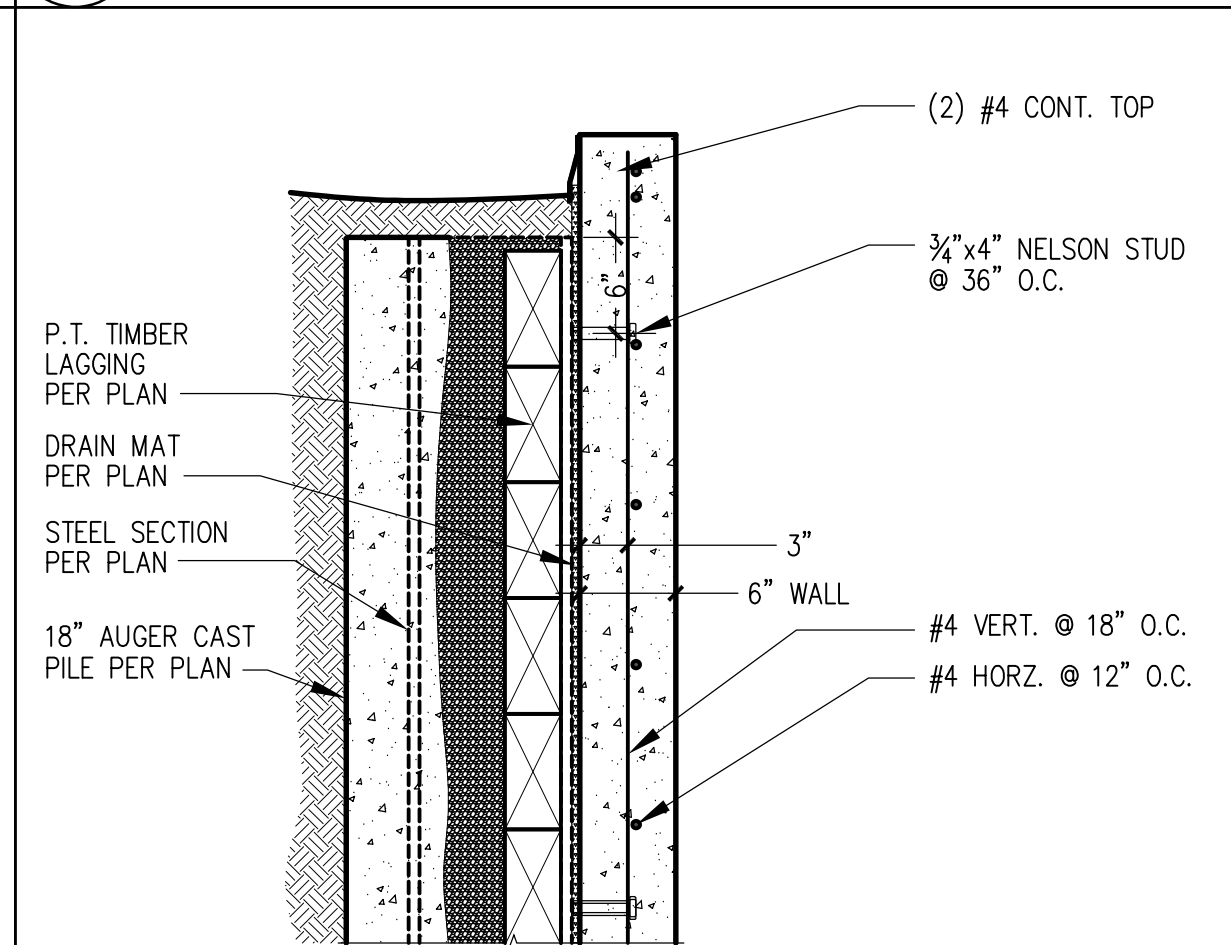
16 DRIVEWAY SITE WALL (BASE OF SOUTH WALL)



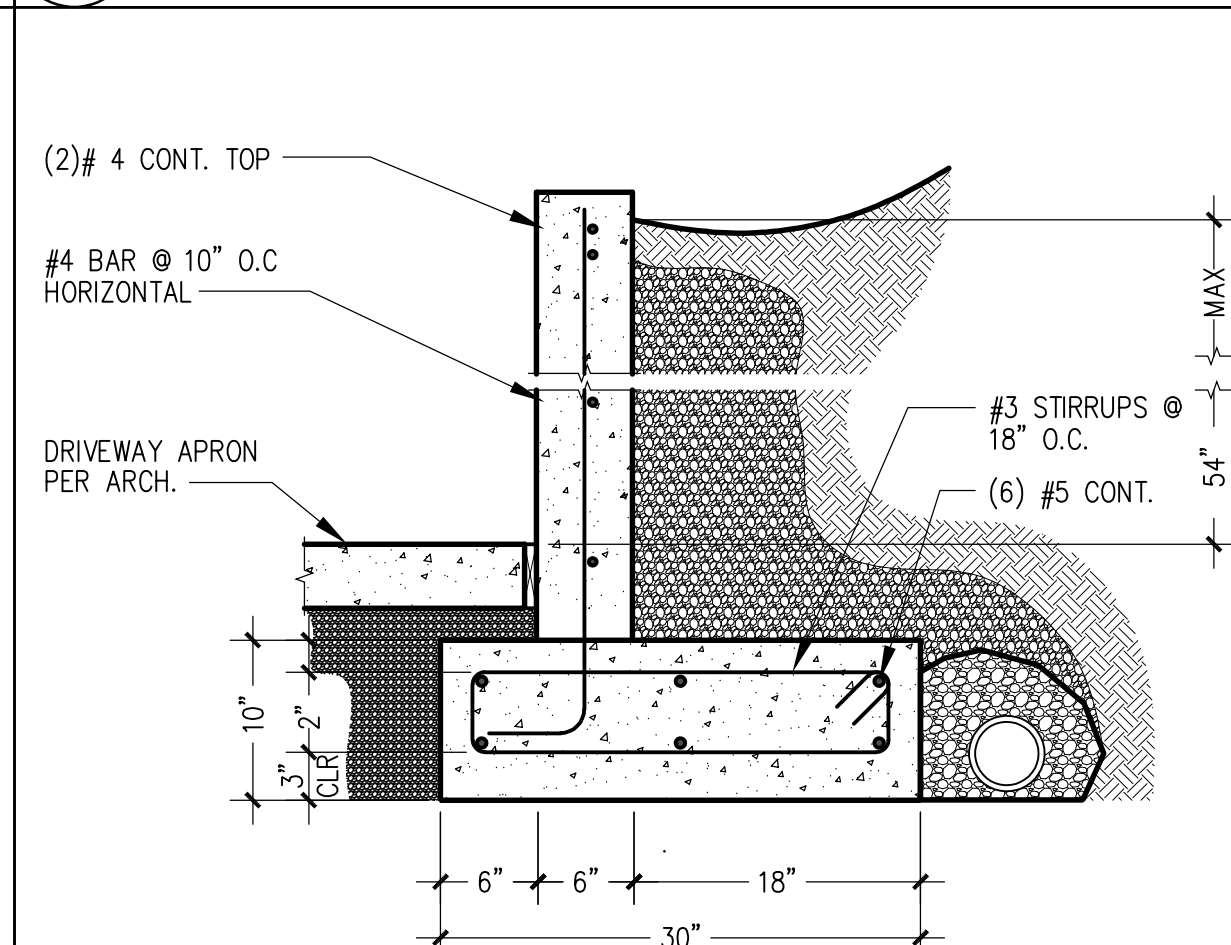
17 DRIVEWAY SITE WALL (TOP OF SOUTH WALL)



18 RETAINING WALL @ SOUTH DRIVEWAY



19 CONCRETE STAIRS @ GRADE BEAM



20 24\"/>

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 dwayne@stonepointengineering.com
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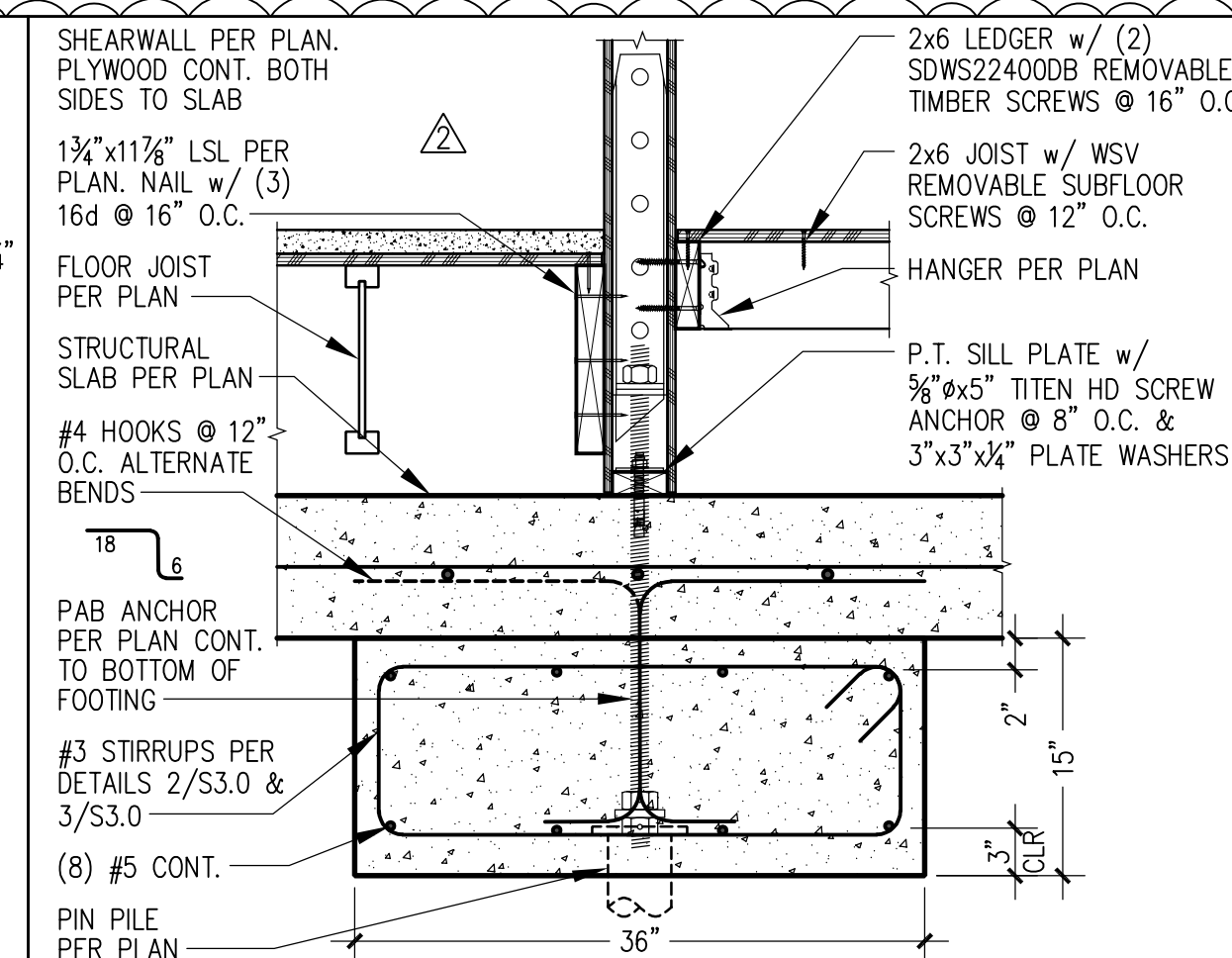
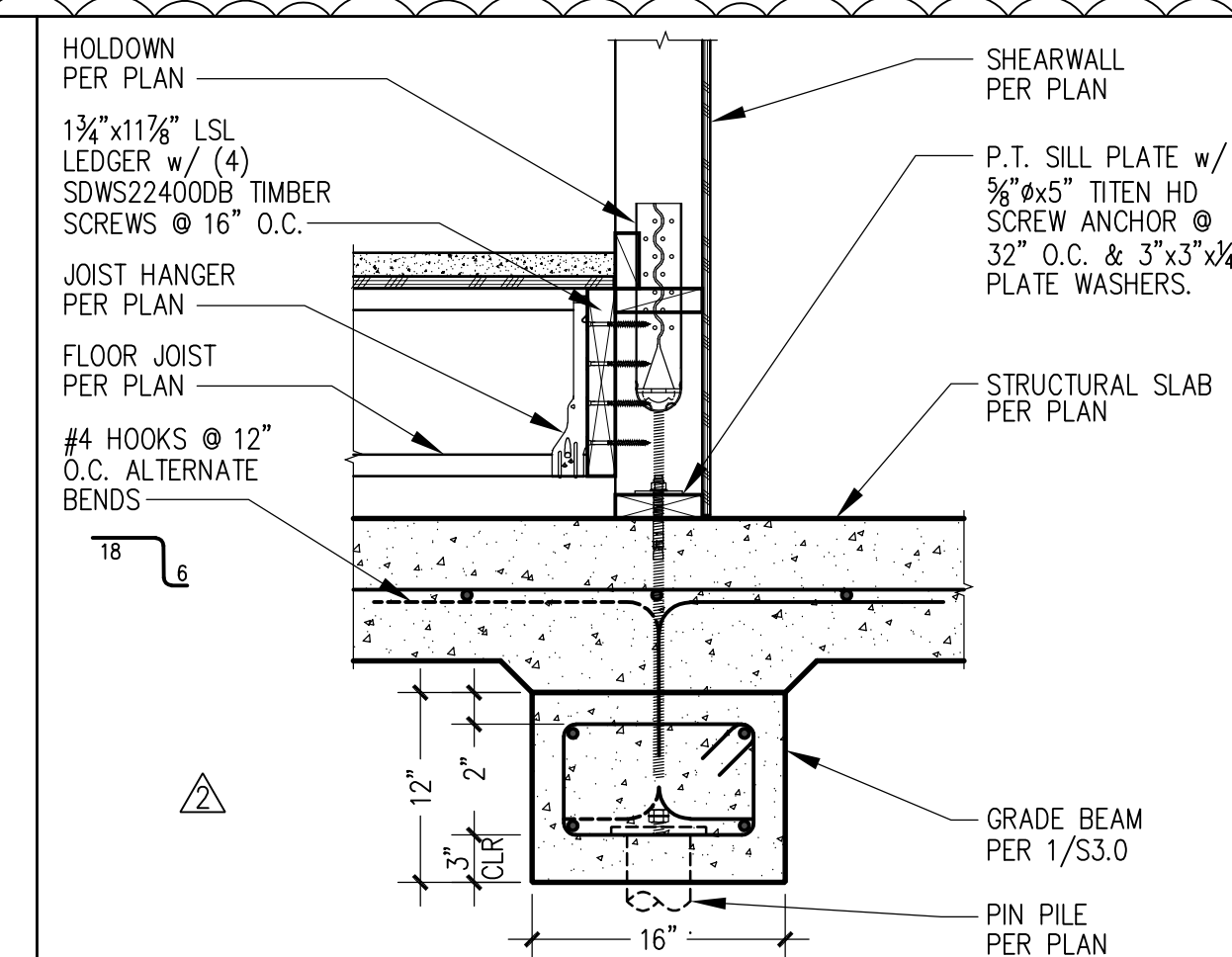
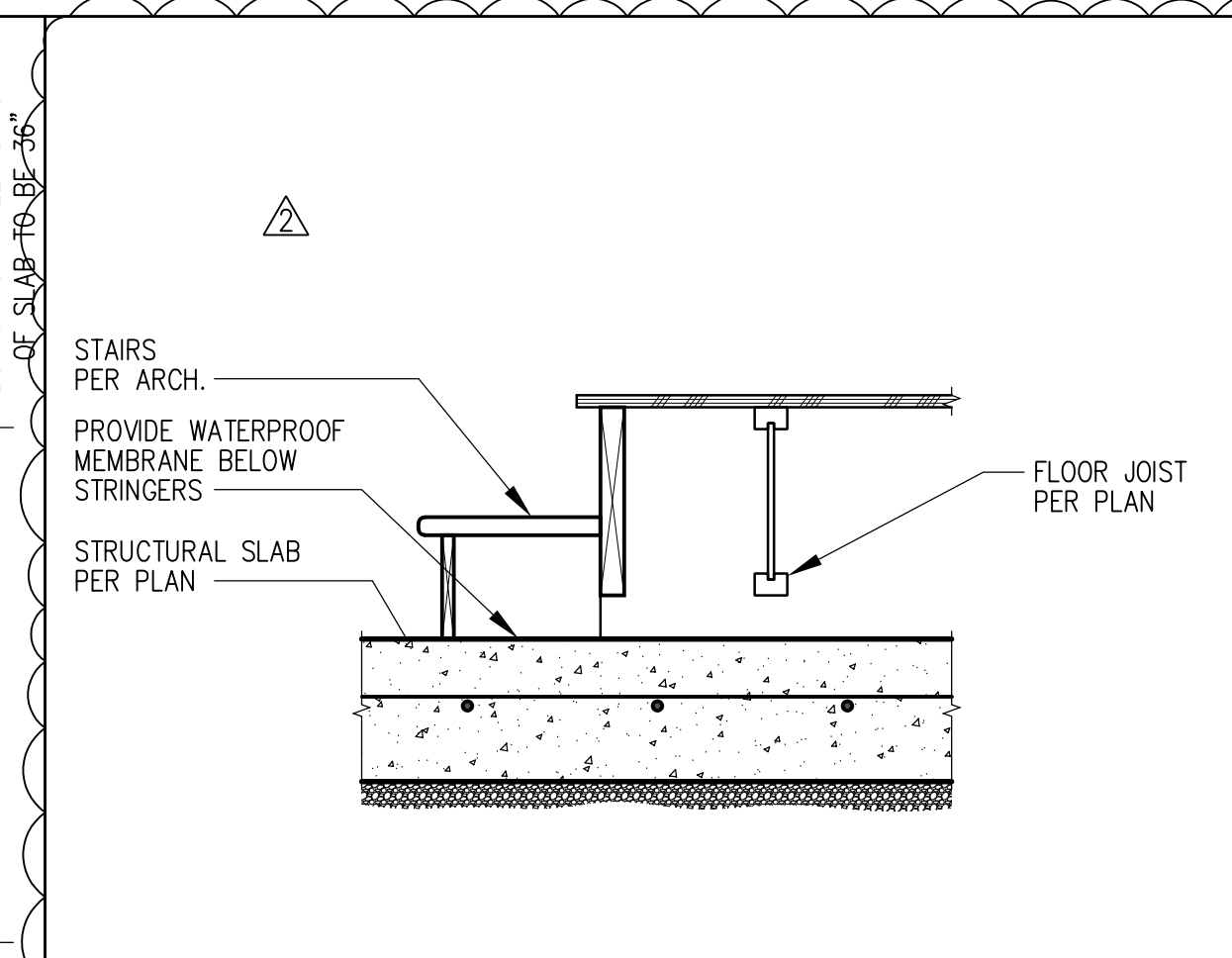
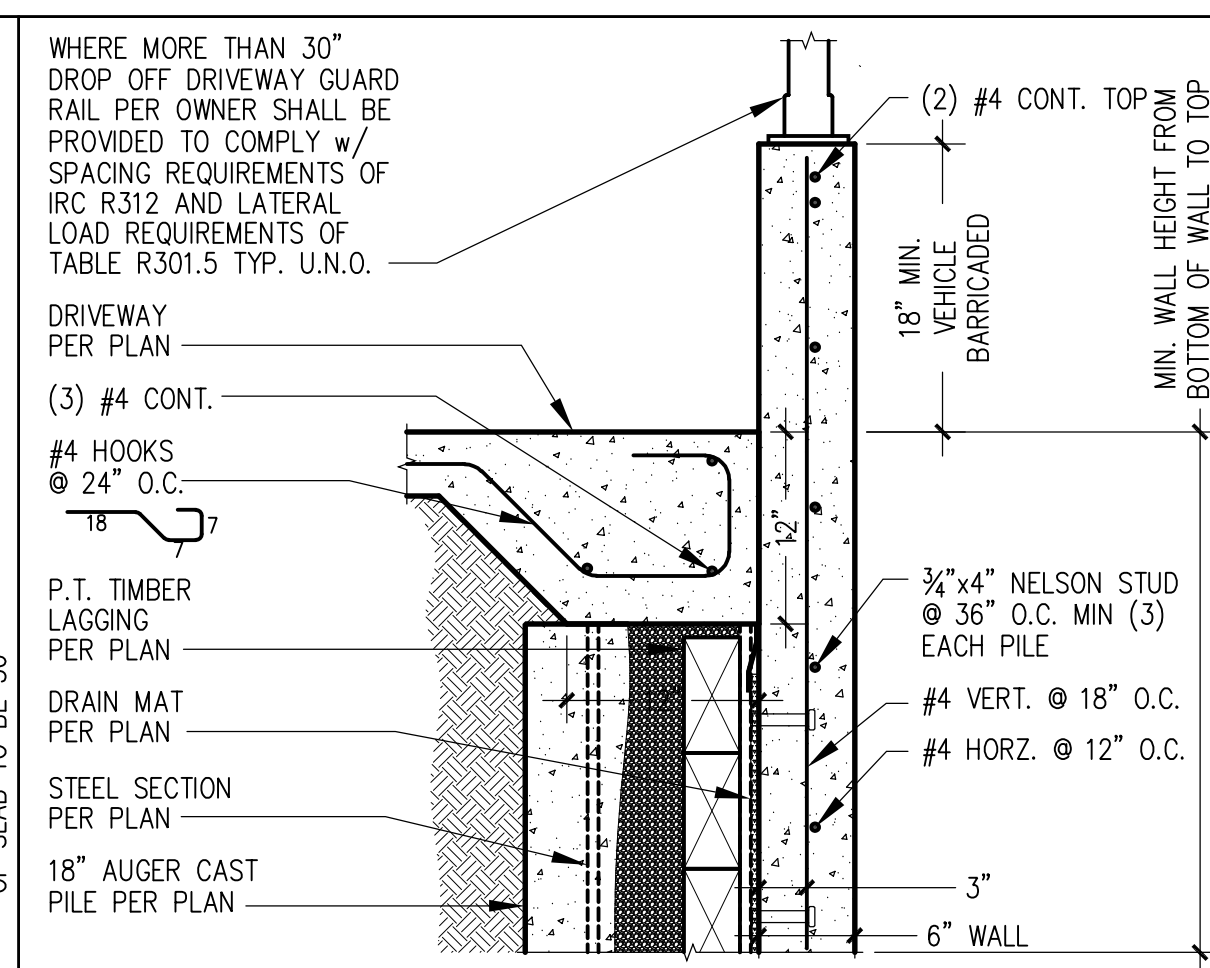
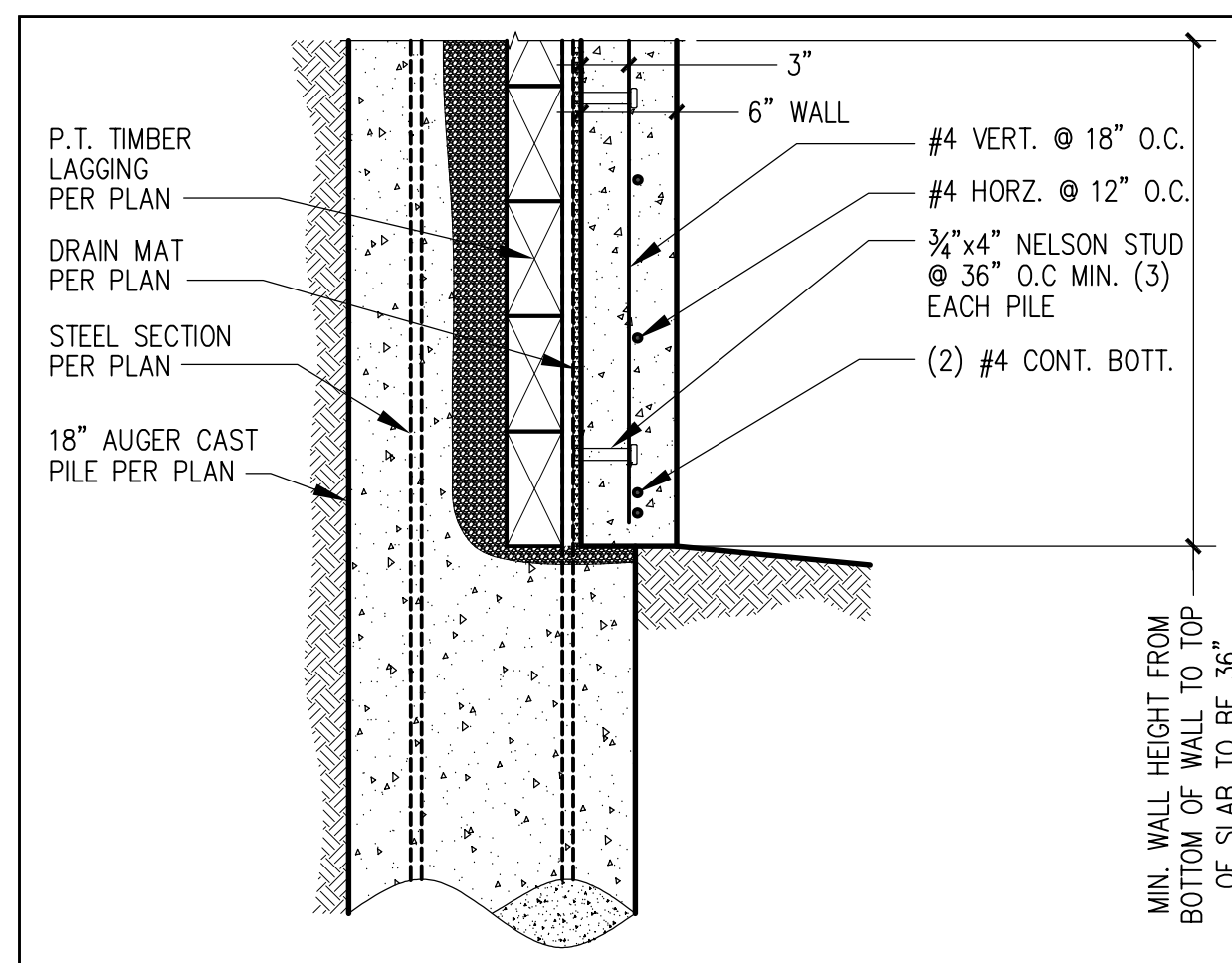
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18-025

S3.1
 FOUNDATION DETAILS



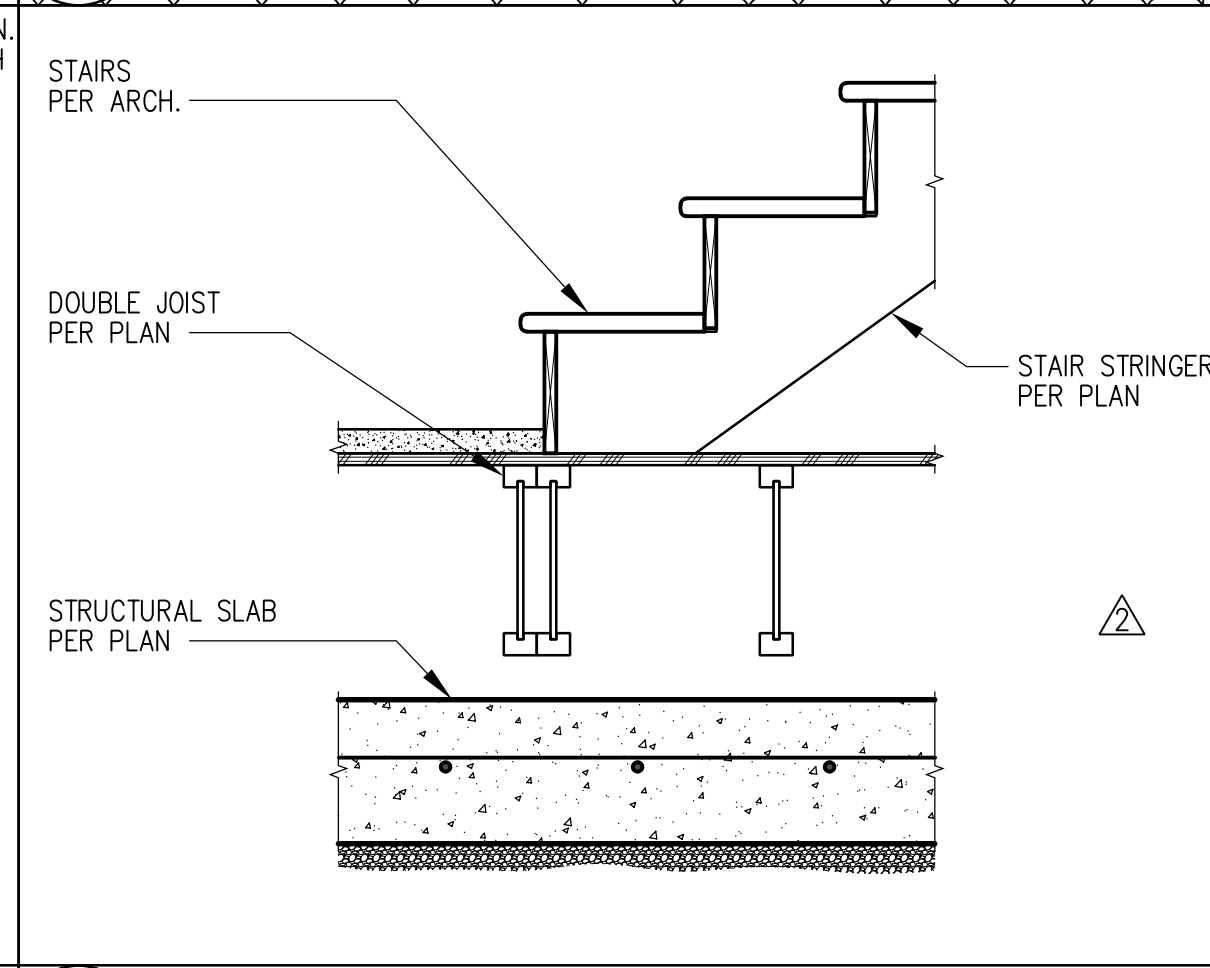
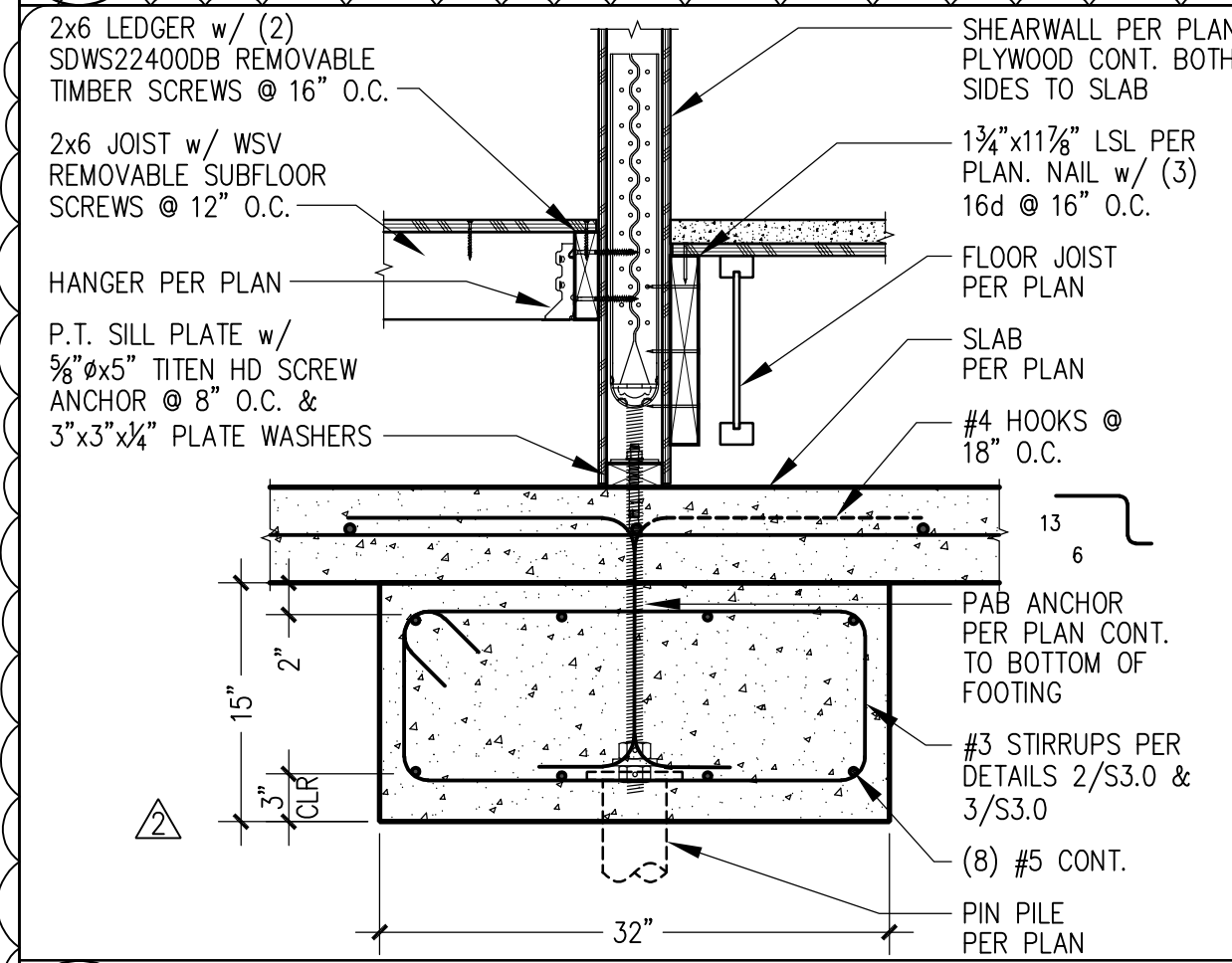
1 DRIVEWAY SITE WALL (BASE OF WALL)

2 DRIVEWAY SITE WALL (TOP OF GRADE)

3 STAIR STRINGER FRAMING (BASEMENT STAIRS @ SLAB/LOWER LANDING)

4 SHEARWALL @ SLAB w/ FLOOR FRAMING

5 PAB ANCHOR @ SLAB ON GRADE (HD19 @ PARALLEL 11 1/8 TJ)



6 PAB ANCHOR @ SLAB ON GRADE (HDU11 @ PARALLEL 11 1/8 TJ)

7 STAIR STRINGER FRAMING (BASEMENT STAIRS @ LOWER LANDING)

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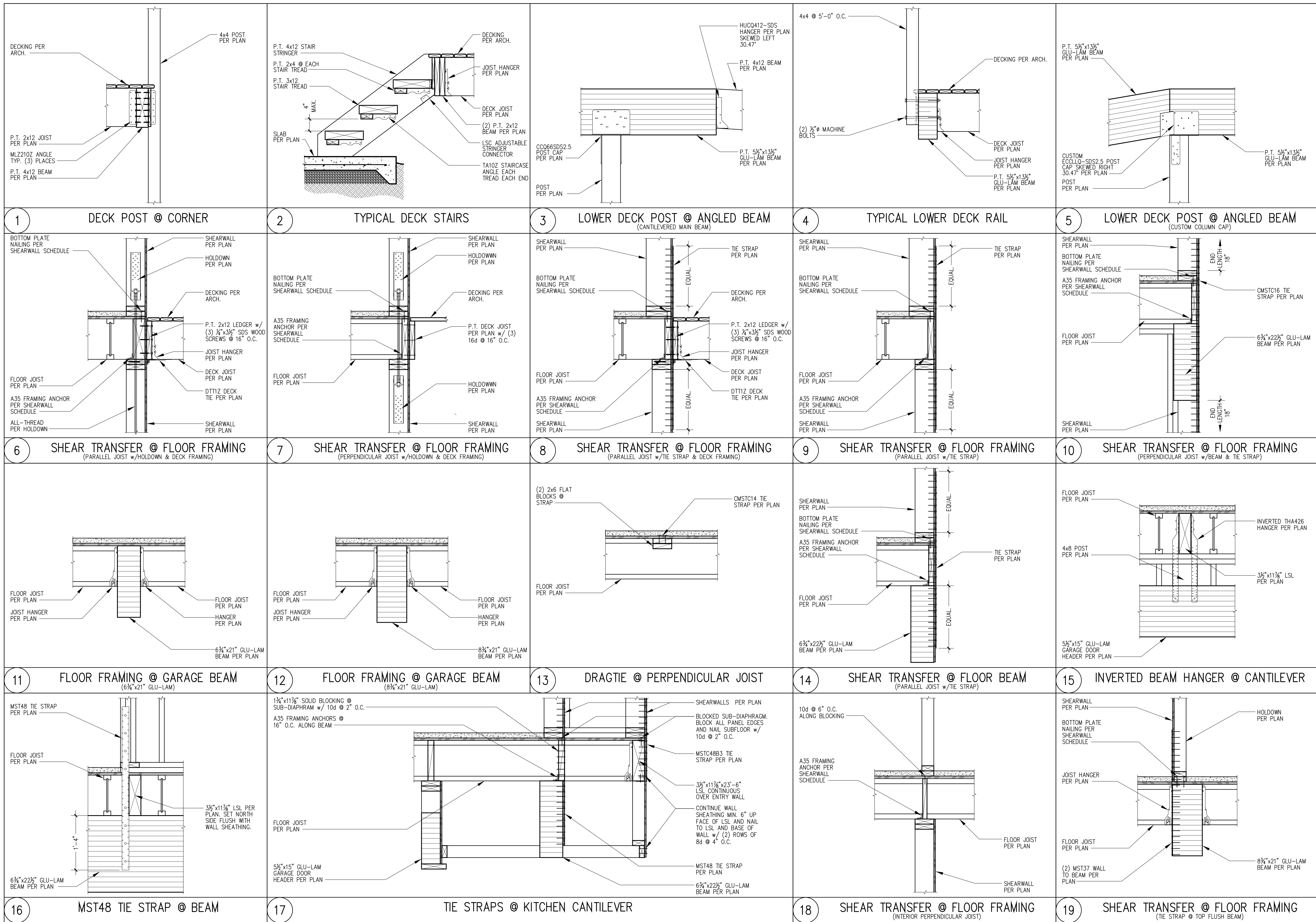
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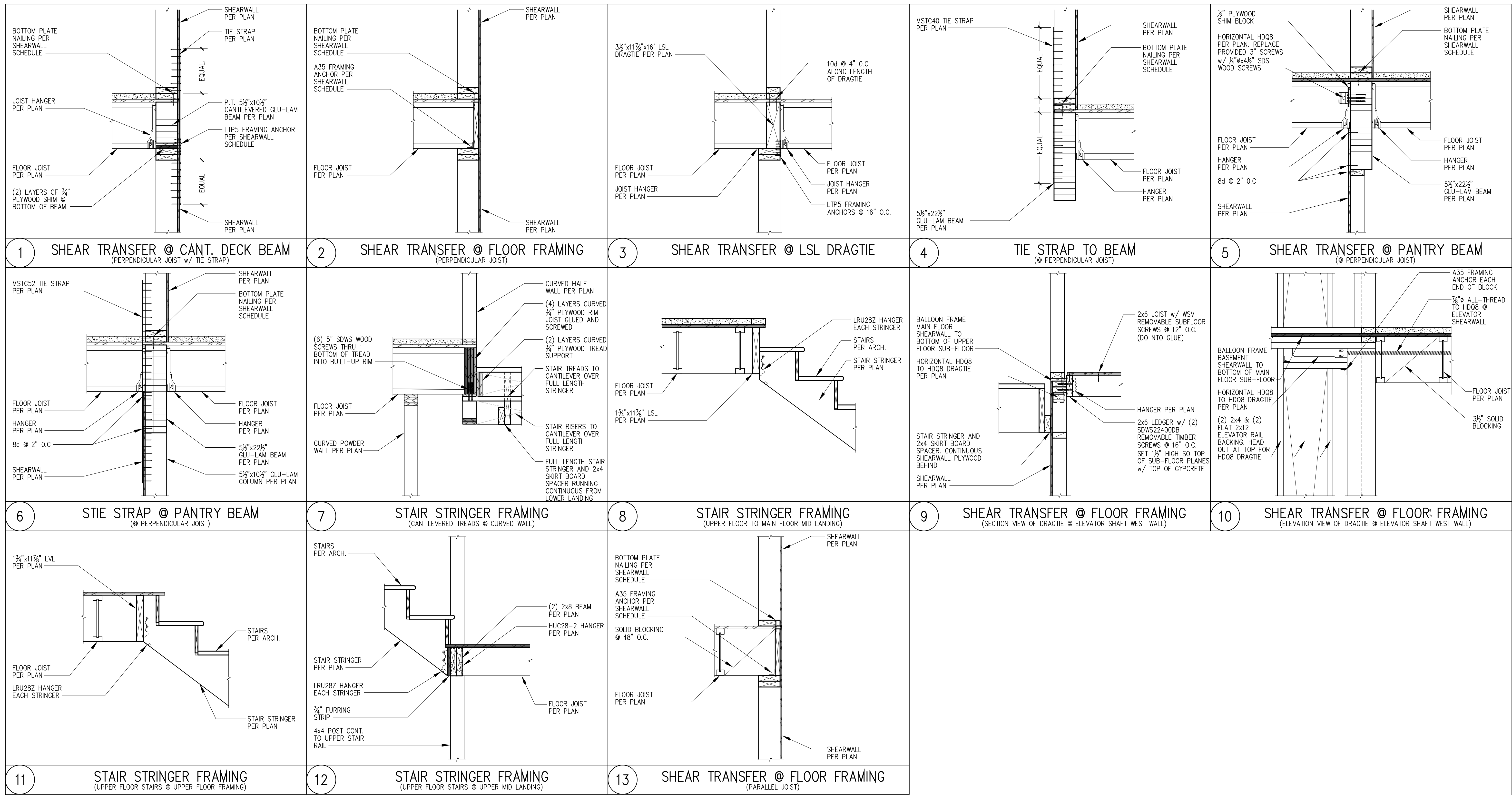
18-025

S3.2
 FOUNDATION
 DETAILS



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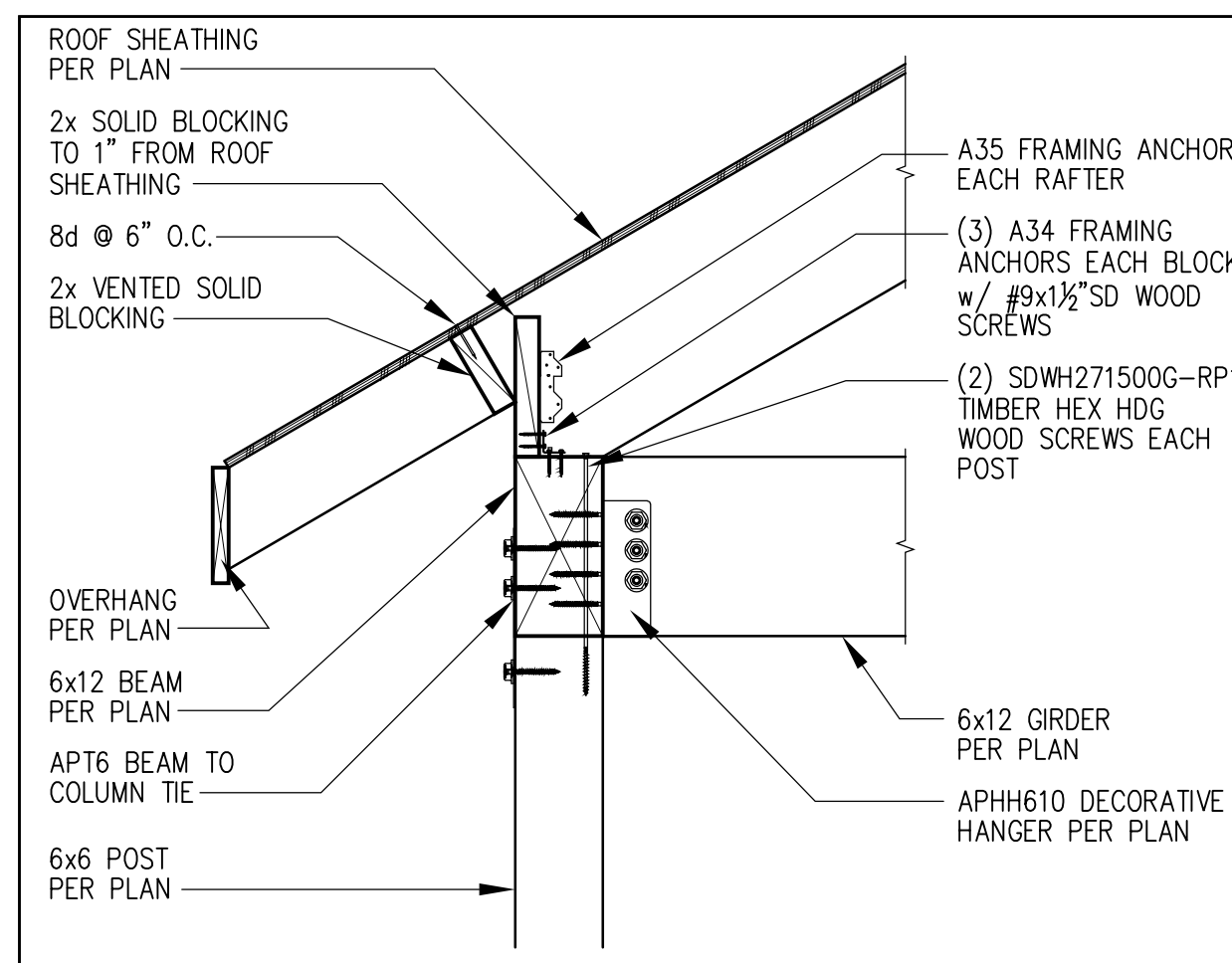
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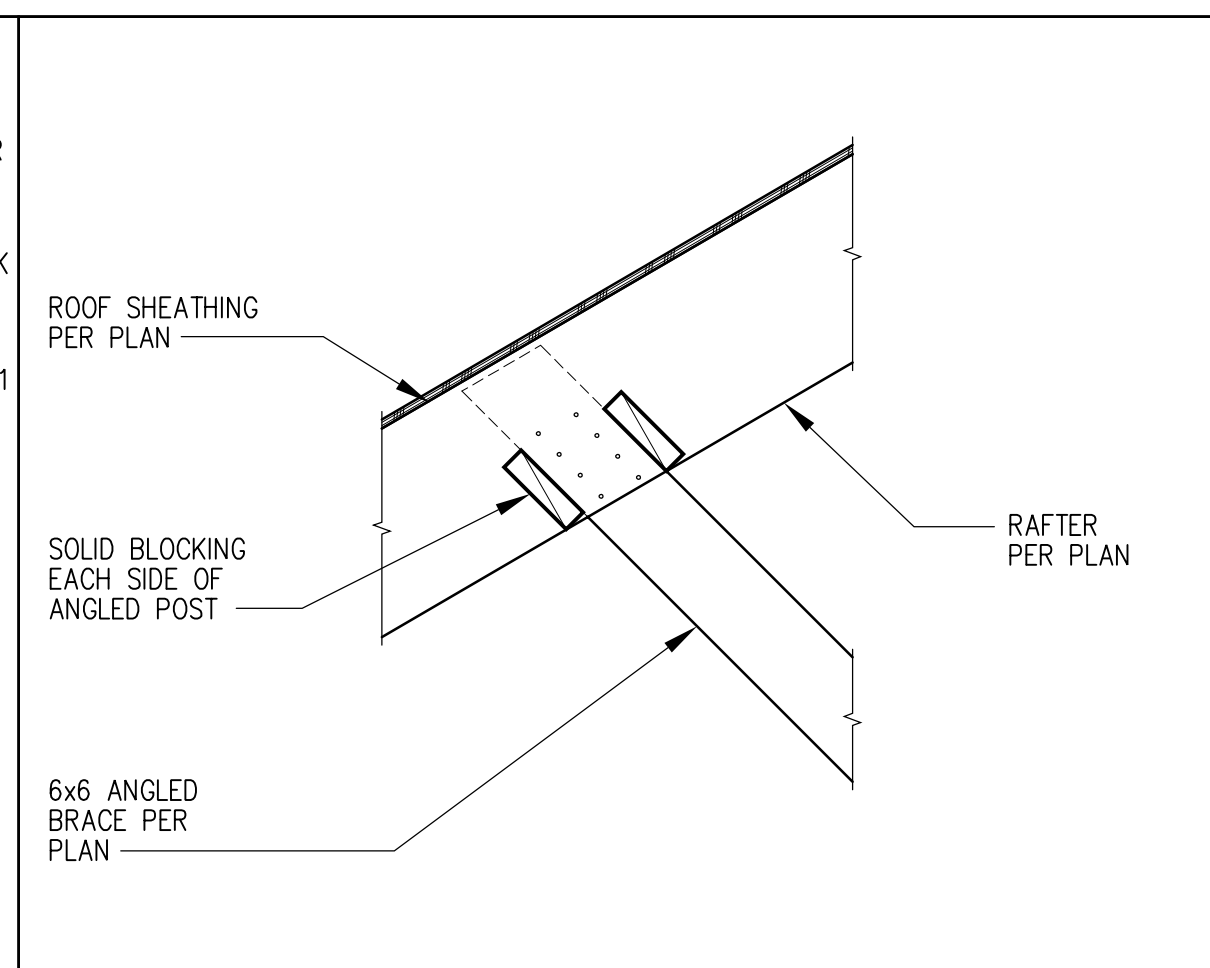
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Bldg. Dept PU	03/26/23

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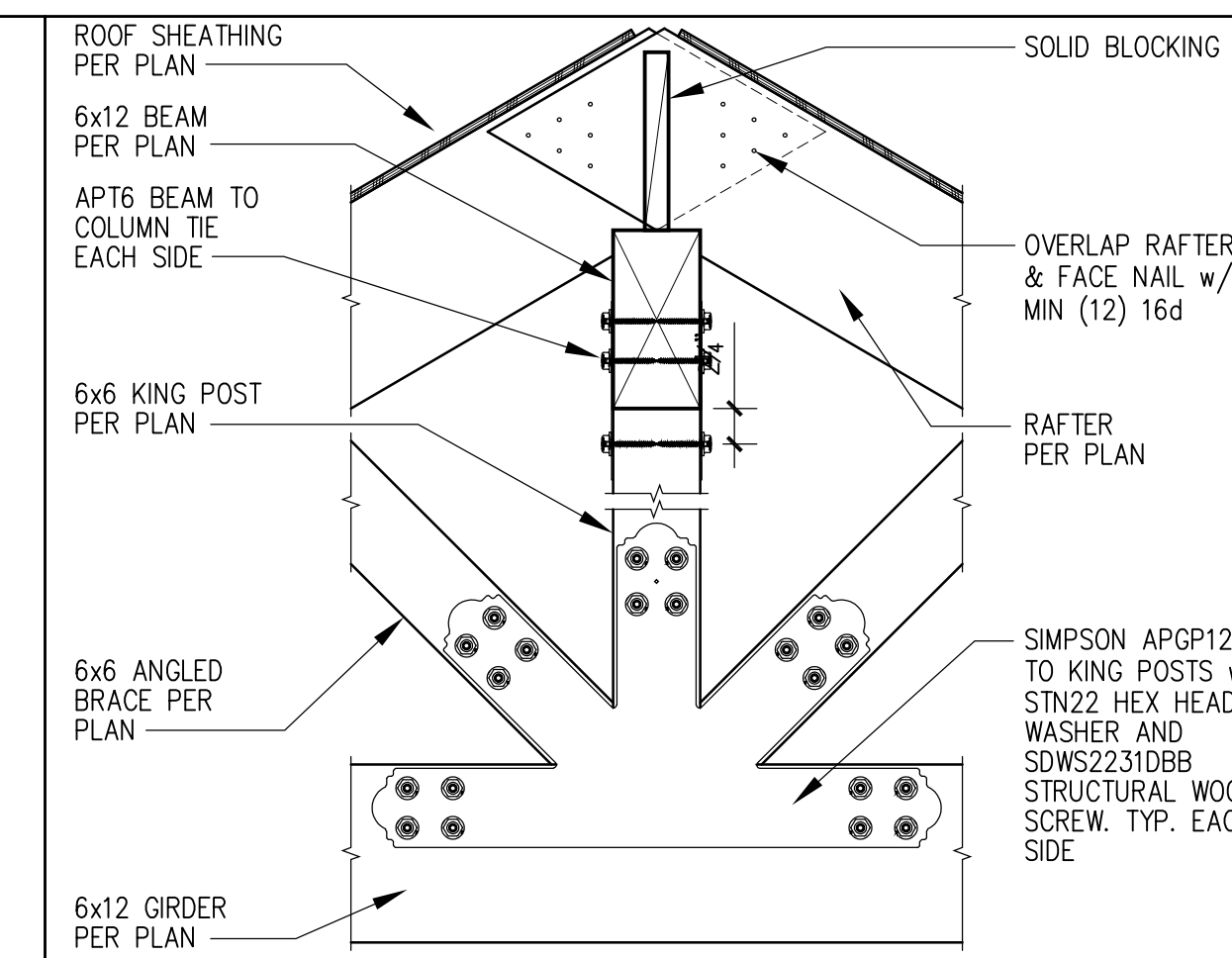
S4.2
 FRAMING
 DETAILS



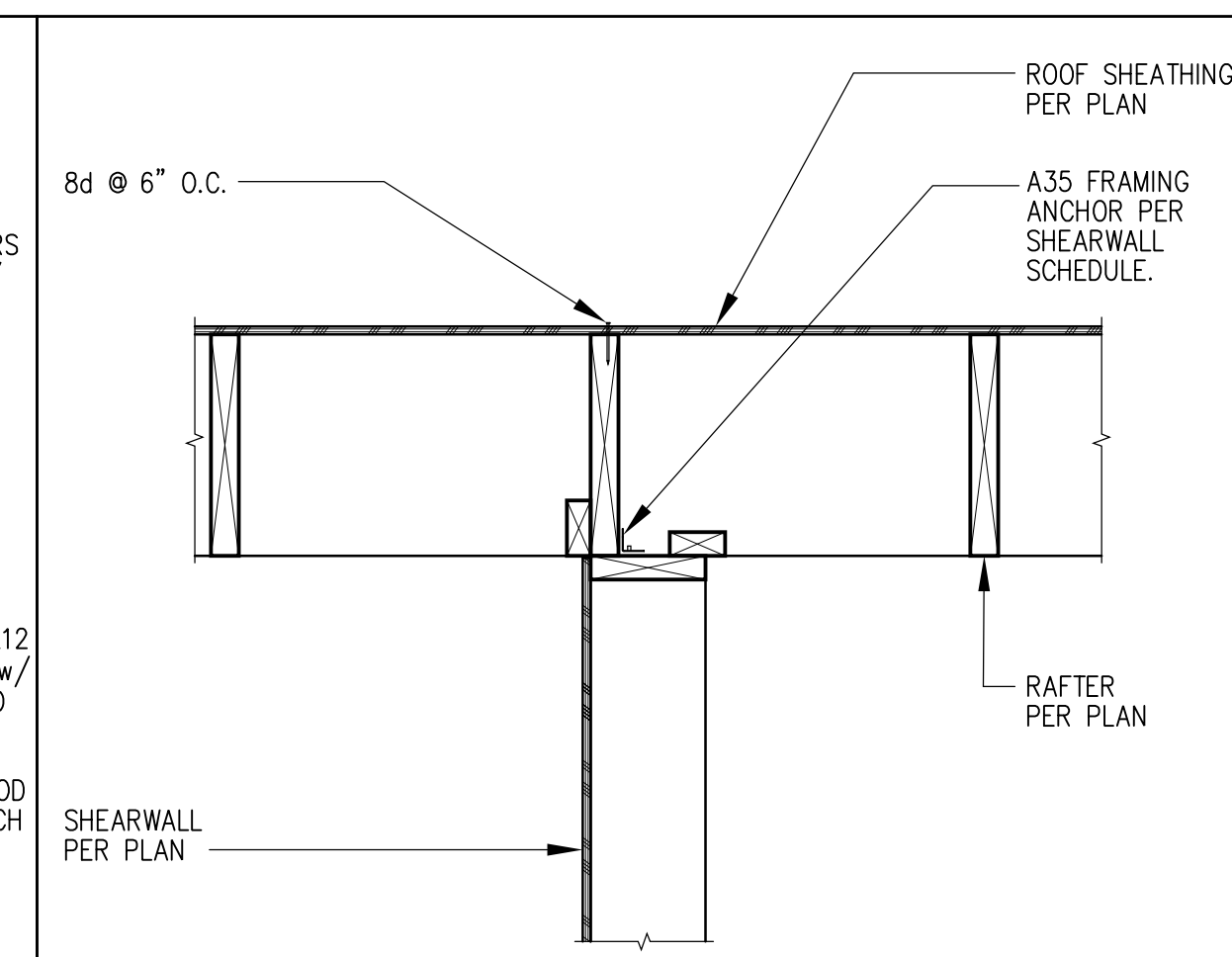
1 TYP. PORCH POST TO BEAM CONNECTION



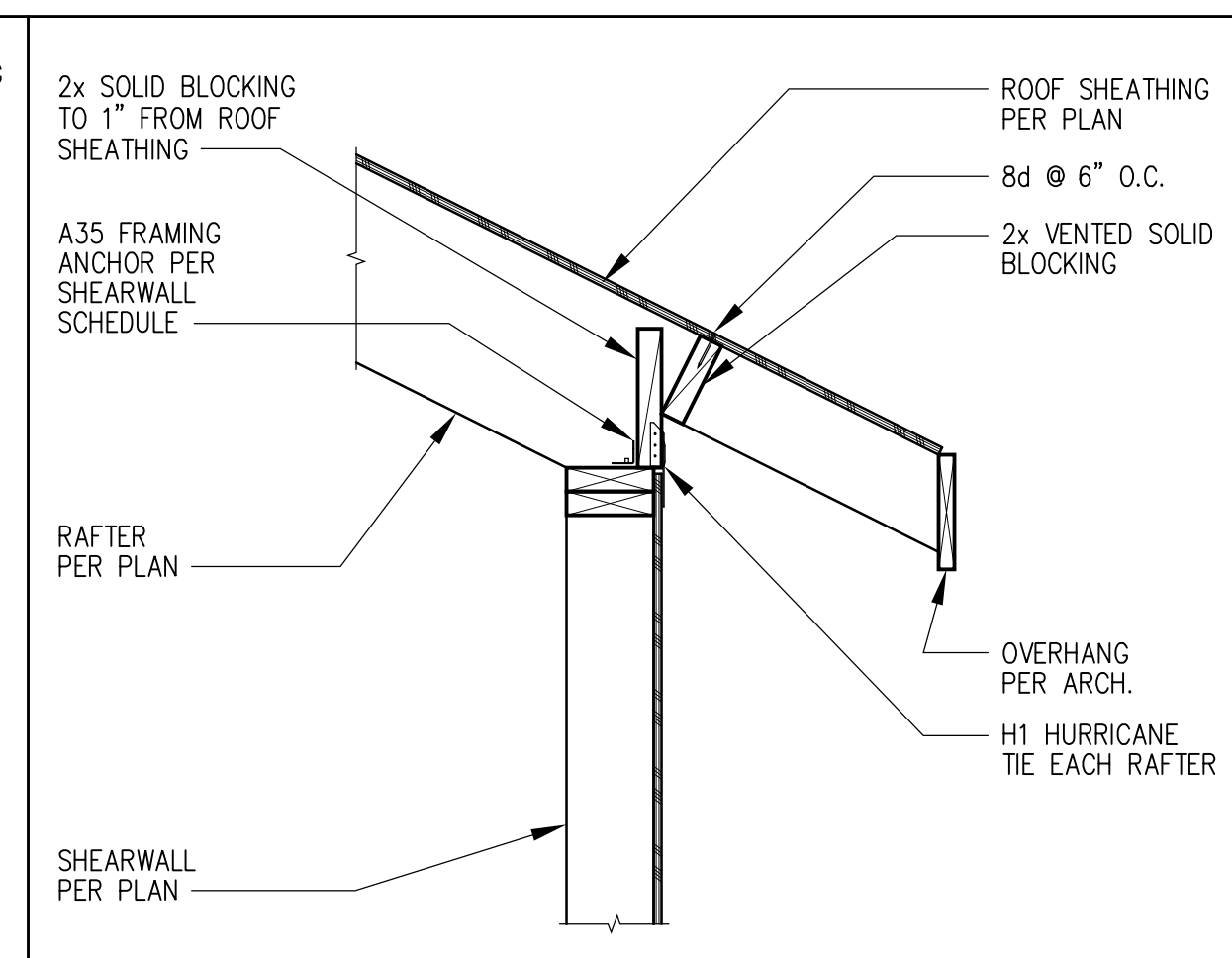
2 ANGLED POST TO RAFTER CONNECTION



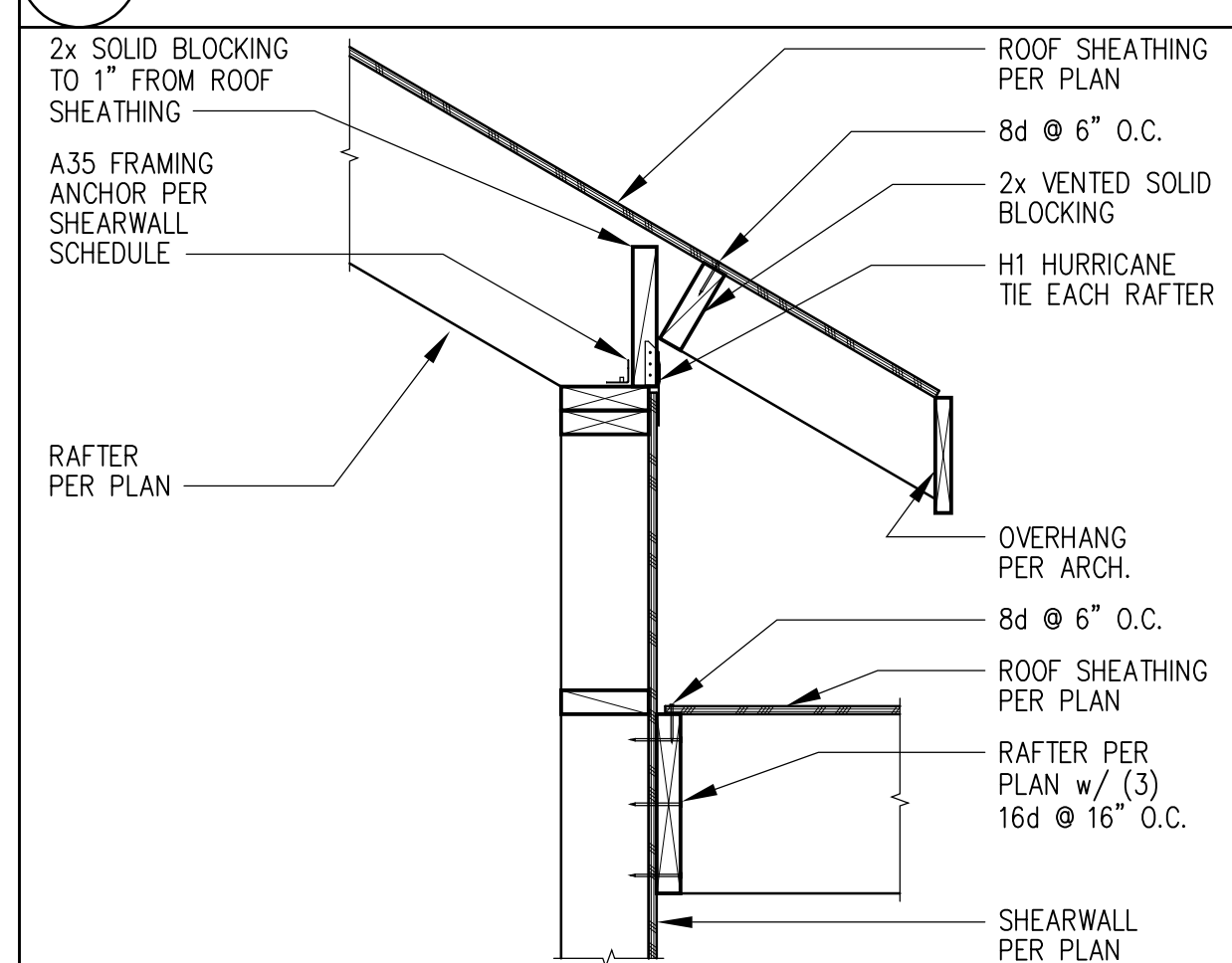
3 KING POST TO BEAM CONNECTION



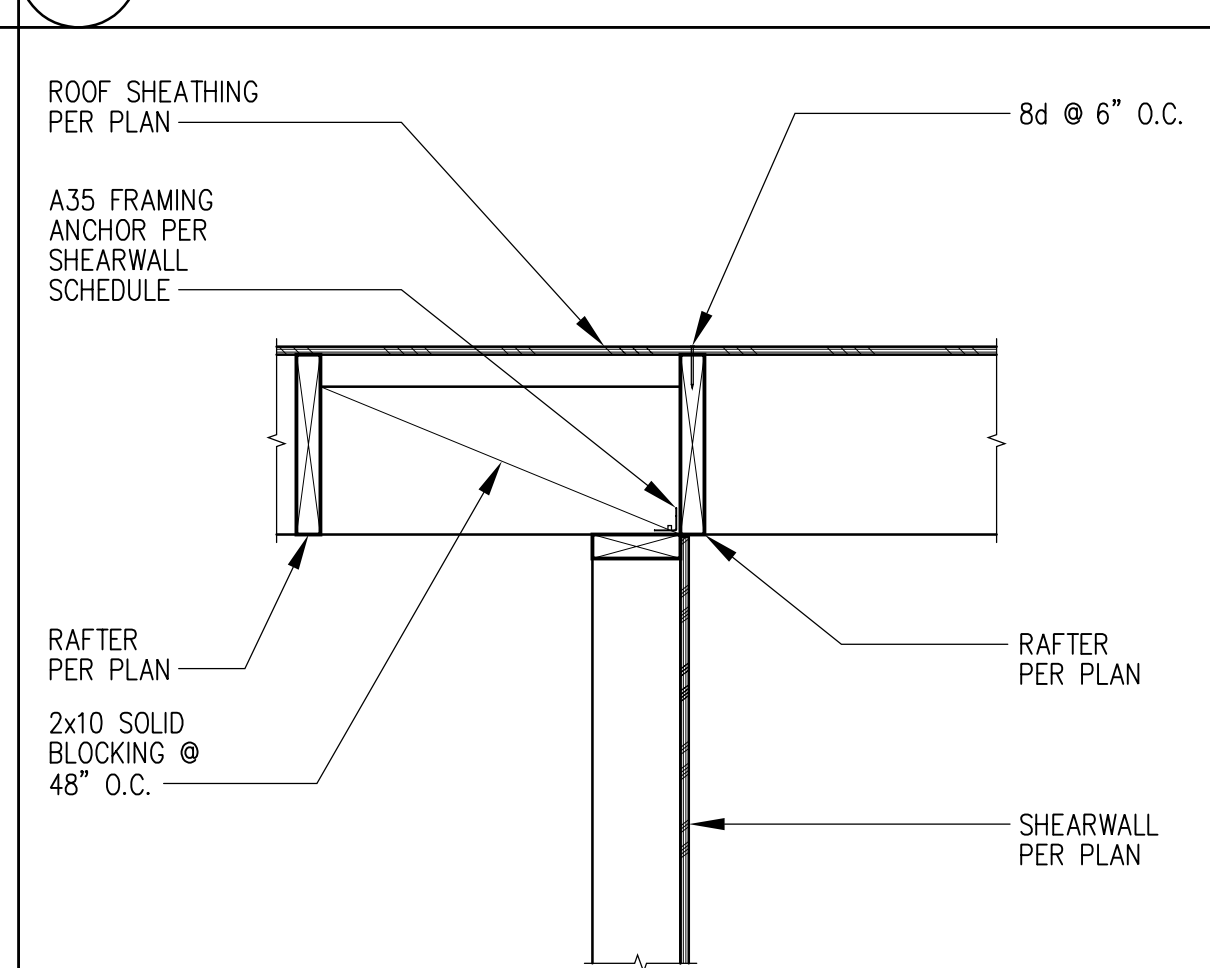
4 SHEAR TRANSFER @ GREAT ROOM GABLE



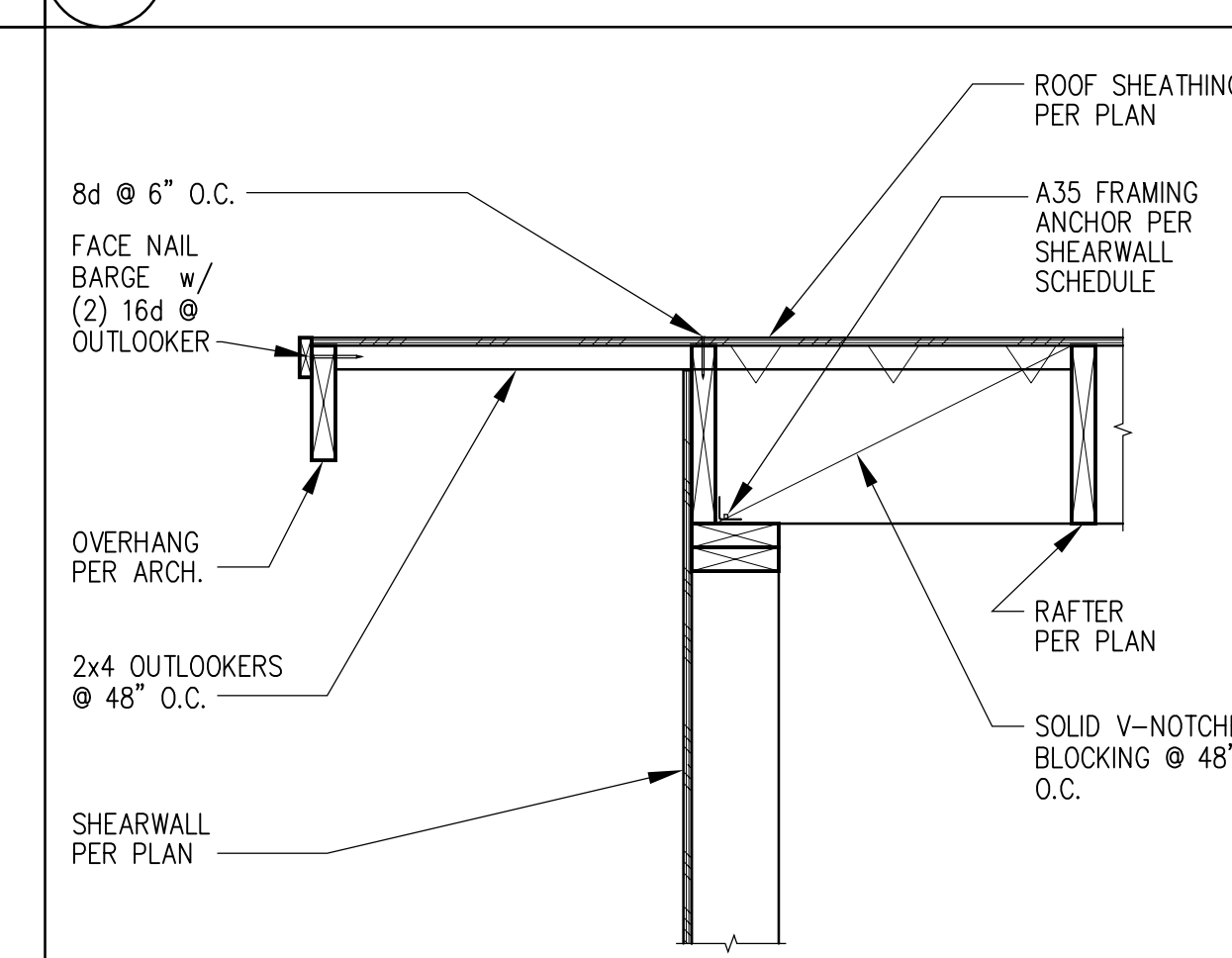
5 SHEAR TRANSFER @ EAVE (TYPICAL RAFTER)



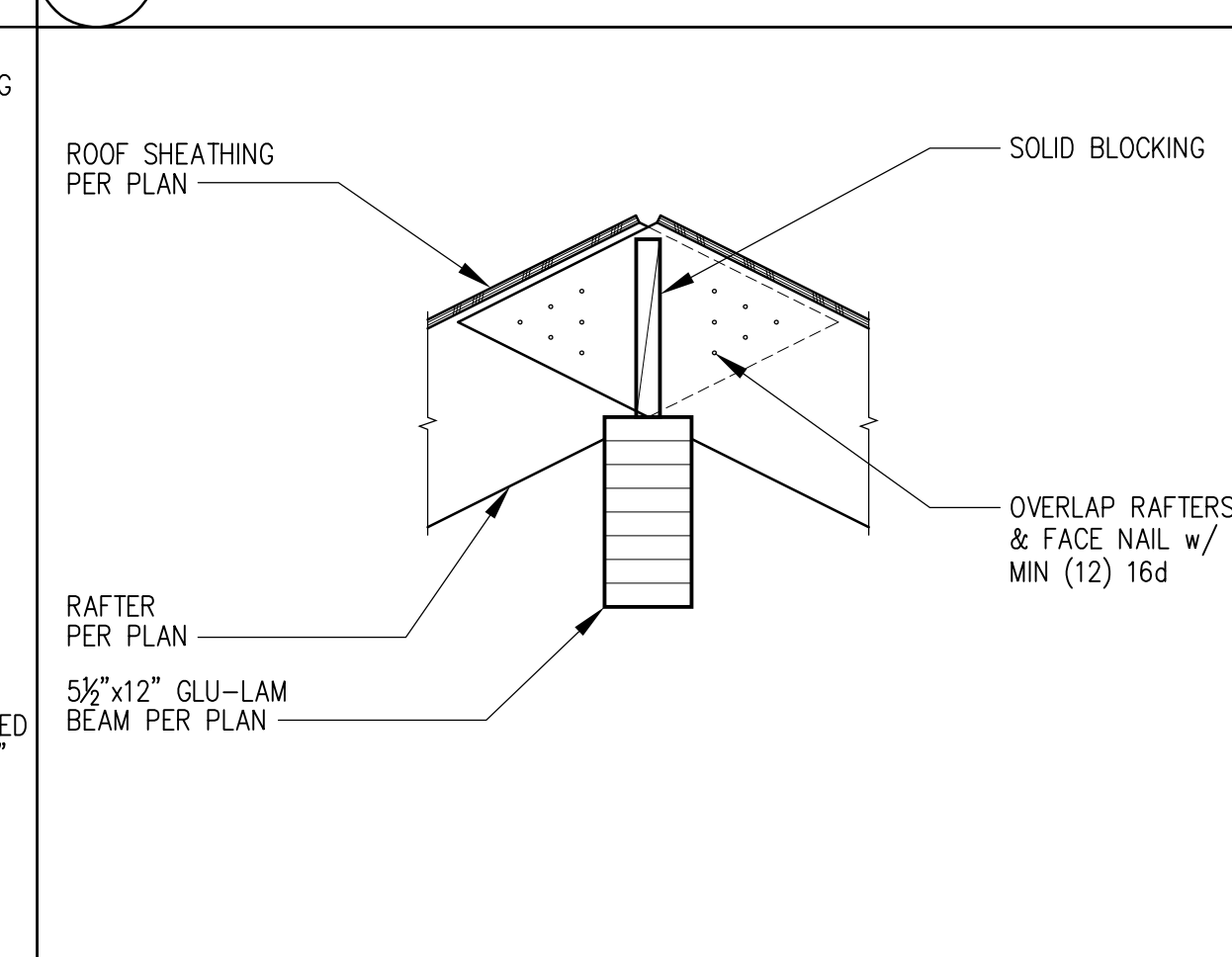
6 SHEAR TRANSFER @ EAVE (TYPICAL RAFTER w/ LOWER ROOF)



7 SHEAR TRANSFER @ PARALLEL RAFTER (SHEARWALL ON TYPICAL RAFTER LAYOUT)



8 SHEAR TRANSFER @ GABLE



9 ROOF FRAMING @ RIDGE

MARK	EDGE	FIELD	SILL PLATE ANCHORS	BOTTOM PLATE NAILING	TOP PLATE CONNECTION			BASE SHEAR (PLF)	WIND	SEISMIC
					RAFTER OR TRUSS	W/ H1	W/O H1			
P1-6	8d @ 6"	8d @ 12"	3/8" @ 48"	(1) 16d @ 4"	A35 @ 29"	RBC @ 18"	339	241		
P1-4	8d @ 4"	8d @ 12"	3/8" @ 33"	(1) 16d @ 3"	A35 @ 20"	RBC @ 31"	495	353		
P1-3 (6)	8d @ 3"	8d @ 12"	3/8" @ 25"	(1) 16d @ 3"	A35 @ 15"	RBC @ 18"	637	455		
P1-2 (6)	8d @ 2"	8d @ 12"	3/8" @ 19"	(2) 16d @ 4"	A35 @ 12"	RBC @ 11"	832	595		
P2-4 (6, 7)	8d @ 4"	8d @ 12"	3/8" @ 16"	(2) 16d @ 3 1/2"	A35 @ 10"	RBC @ 9"	990	706		
P2-3 (6, 7)	8d @ 3"	8d @ 12"	3/8" @ 12"	(2) 16d @ 3"	A35 @ 7"	RBC @ 6"	1274	911		
P2-2 (6, 7)	8d @ 2"	8d @ 12"	3/8" @ 8"	(3) 16d @ 3"	A35 @ 6"	RBC @ 5"	1662	1190		
P1-2-10d (6)	10d @ 2"	10d @ 12"	3/8" @ 16"	(2) 16d @ 3 1/2"	A35 @ 10"	RBC @ 9"	1002	716		

NOTES:
 1. ALL EXTERIOR WALLS TO BE "P1-6" SHEARWALL UNLESS NOTED OTHERWISE.
 2. NAILS TO HAVE A MINIMUM DIAMETER OF 0.131" FOR 8d, 0.148" FOR 10d and 16d.
 3. ALL PANEL EDGES TO BE BACKED WITH 2" NOMINAL OR WIDER FRAMING.
 4. "P1" INDICATES PLYWOOD ON ONE SIDE OF SHEARWALL ONLY, "P2" INDICATES PLYWOOD ON BOTH SIDES.
 5. ANCHOR BOLTS SHALL HAVE A 3"x3"x1/2" STEEL PLATE WASHER THAT EXTENDS TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SHEATHED SIDE. WHERE 2x6 SHEARWALLS ARE SHEATHED ON BOTH SIDES, LARGER PLATE WASHERS WILL BE REQUIRED IN ORDER TO MEET THE 1/2" EDGE DISTANCE REQUIREMENT.
 6. FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER OR A BUILT-UP MEMBER STITCH NAILED TOGETHER PER THE BOTTOM PLATE NAILING PATTERN IN THE SHEARWALL SCHEDULE.
 7. PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3" NOMINAL OR THICKER. NAILS ON EACH SIDE SHALL BE STAGGERED.
 8. AT CONTRACTORS DISCRETION LTP FRAMING ANCHORS MAY BE USED IN LIEU OF THE A35.

10 PLYWOOD/OSB SHEARWALL SCHEDULE (HEM FIR FRAMING) (1, 2, 3, 4, 5)

Stoney Point Engineering
 Dwayne Barnes P.E.
 dwayne@stonepointengineering.com
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 Mercer Island, WA 98084

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18-025

S4.3
 FRAMING DETAILS

5637 MERCER WAY

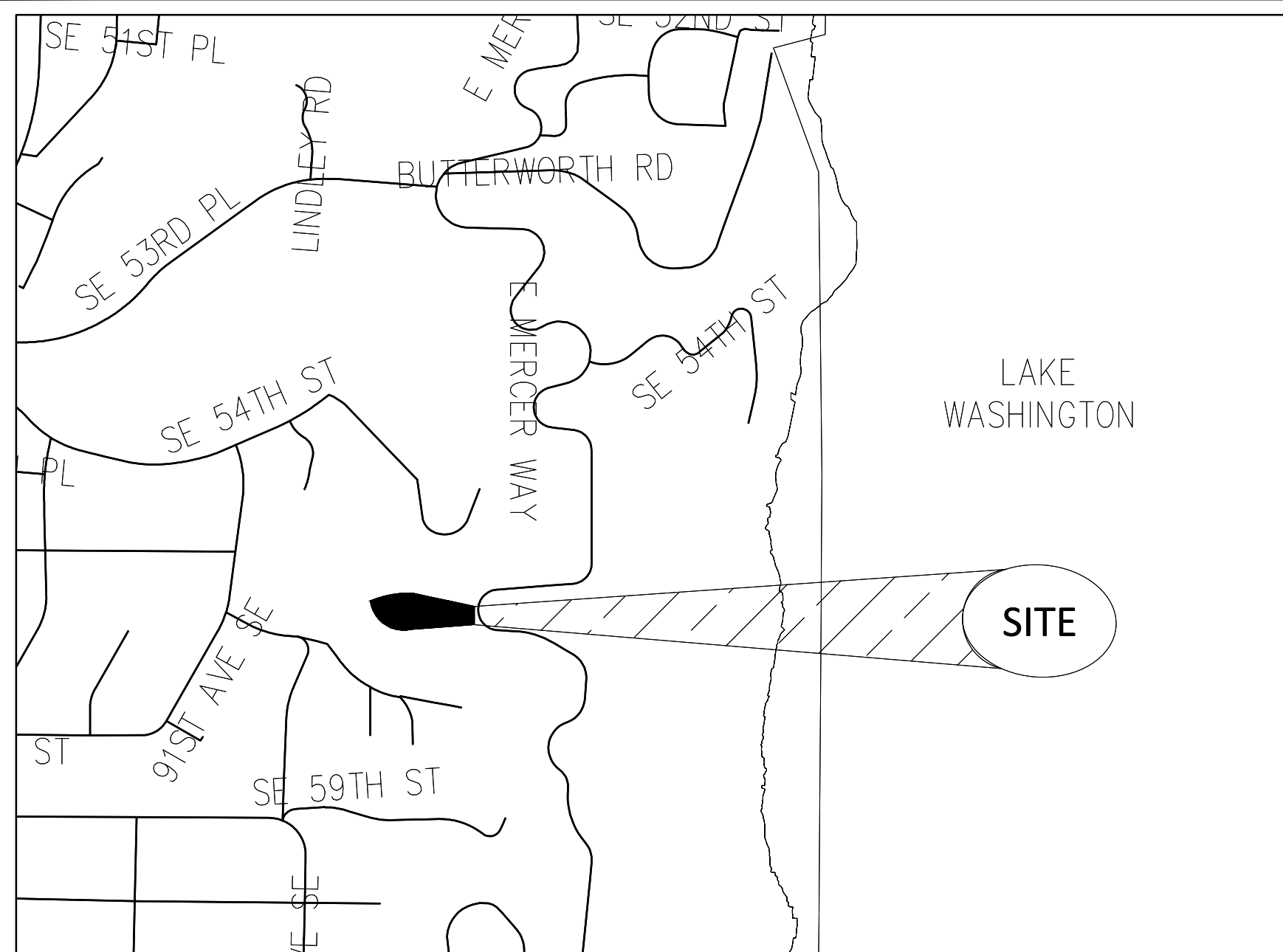
5637 E MERCER WAY
MERCER ISLAND, WASHINGTON

OWNER:

MI TREEHOUSE, LLC
11030 SE 30TH ST
BELLEVUE, WA 98004

ENGINEER/ SURVEY:

CORE DESIGN INC
14711 NE 29TH PL, SUITE 101
BELLEVUE, WASHINGTON 98007
(425) 885-7877
CONTACT: MICHAEL A. MOODY, P.E.
GLENN R. SPRAGUE, P.L.S.



VICINITY MAP

1" = 500'

BASIS OF BEARINGS

00°01'20"W BETWEEN THE FOUND MONUMENTS ALONG THE CENTERLINE OF EAST MERCER WAY

REFERENCES

STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NUMBER 20140929000870

LEGAL DESCRIPTION

LOT A OF CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010, AS RECORDED MARCH 31, 1977 UNDER RECORDING NO. 7703310851, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

RESTRICTIONS

1. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS CONTAINED IN DEED RECORDED UNDER RECORDING NUMBER 1579689.
2. THIS SITE IS SUBJECT TO THE CONDITIONS, COVENANTS, RESTRICTIONS, EASEMENTS, NOTES, AND SETBACKS, IF ANY, AS SHOWN ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010 AS RECORDED UNDER RECORDING NUMBER 7703310851
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR SIDE SEWER SERVICE AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 7804100820.
4. THIS SITE IS SUBJECT TO AN EASEMENT FOR STORMWATER/UTILITY FACILITIES & PEDESTRIAN TRAIL AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 20070425001878.

BASIS OF BEARINGS

1. THIS SURVEY HAS BEEN PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NUMBER 20140929000870 AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON JUNE 8, 2018. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JUNE, 2018.
3. PROPERTY AREA = 37,528± SQUARE FEET (0.8615± ACRES).
4. ALL DISTANCES ARE IN FEET.
5. THIS IS A FIELD TRAVERSE SURVEY. A LEICA ROBOTIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WA0 332-130-100. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
6. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. CORE DESIGN ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

VERTICAL DATUM

NAVD 88

BENCHMARKS

CITY OF MERCER ISLAND POINT "CASC 38"
ELEVATION=163.23

SHEET INDEX

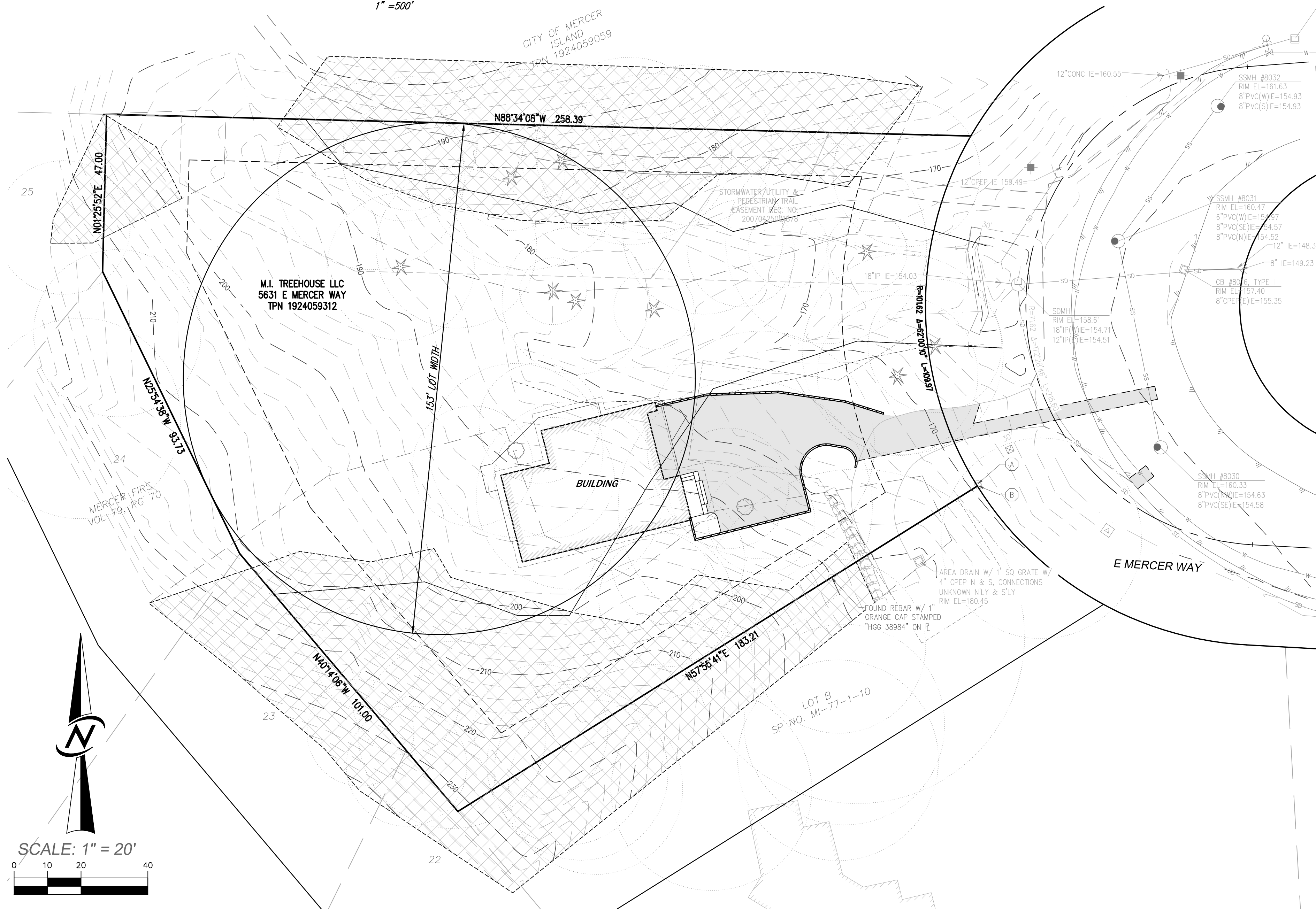
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|-------|------------------------------|
| C1.01 | COVER SHEET |
| C1.02 | TOPOGRAPHIC PLAN |
| C1.03 | BMP NOTES |
| C2.01 | EROSION CONTROL PLAN |
| C4.01 | SITE, UTILITY & GRADING PLAN |
| C4.31 | STORM DRAINAGE DETAILS |
| C4.32 | WATER AND SEWER DETAILS |

SITE STATISTICS

ZONING: R-15 (RESIDENTIAL-SINGLE FAMILY)
 SITE AREA: ±37,554 SF (±0.862 ACRES)
 NET LOT AREA: 35,823 SF (0.822 ACRES)
 LOTS PROPOSED: 1
 TAX PARCEL: 192405-9312
 DWELLING UNITS: 1
 LOT WIDTH: 153'
 SIDE SETBACK: 26.01' COMBINED
 (17% OF TOTAL LOT WIDTH)
 13.005' (NORTHERN SETBACK)
 13.005' (SOUTHERN SETBACK)
 IMPERVIOUS AREA: 3,739 SF (9.9%)
 LOT SLOPE STATISTICS
 LOT 1: 24.5%

NOTE

DEVELOPMENT PROPOSALS FOR A NEW SINGLE-FAMILY HOME SHALL REMOVE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION 19.02.020(F)(3)(a). NEW LANDSCAPING ASSOCIATED WITH NEW SINGLE-FAMILY HOME SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED. PROVIDED, THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OR RISK OF LANDSLIDE OR EROSION.



UNDERGROUND LOCATOR SERVICE
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811

UTILITY CONFLICT NOTE:
CAUTION:
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DATE	OCTOBER 2020
DESIGNED	FLAVIO BANOTTI
DRAWN	CHUCK FEMLING
APPROVED	MICHAEL MOODY, PE
	MICHAEL MOODY, PE
	PROJECT MANAGER
SHEET	OF
C1.01	7
PROJECT NUMBER	18039

COVER SHEET
MERCER ISLAND TREEHOUSE
MI TREEHOUSE LLC
PO BOX 261
MEDINA, WA 98040

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
SURVEYING

CORE DESIGN
12100 NE 195th St, Suite 300 Bothell, Washington 98011 425.885.7877

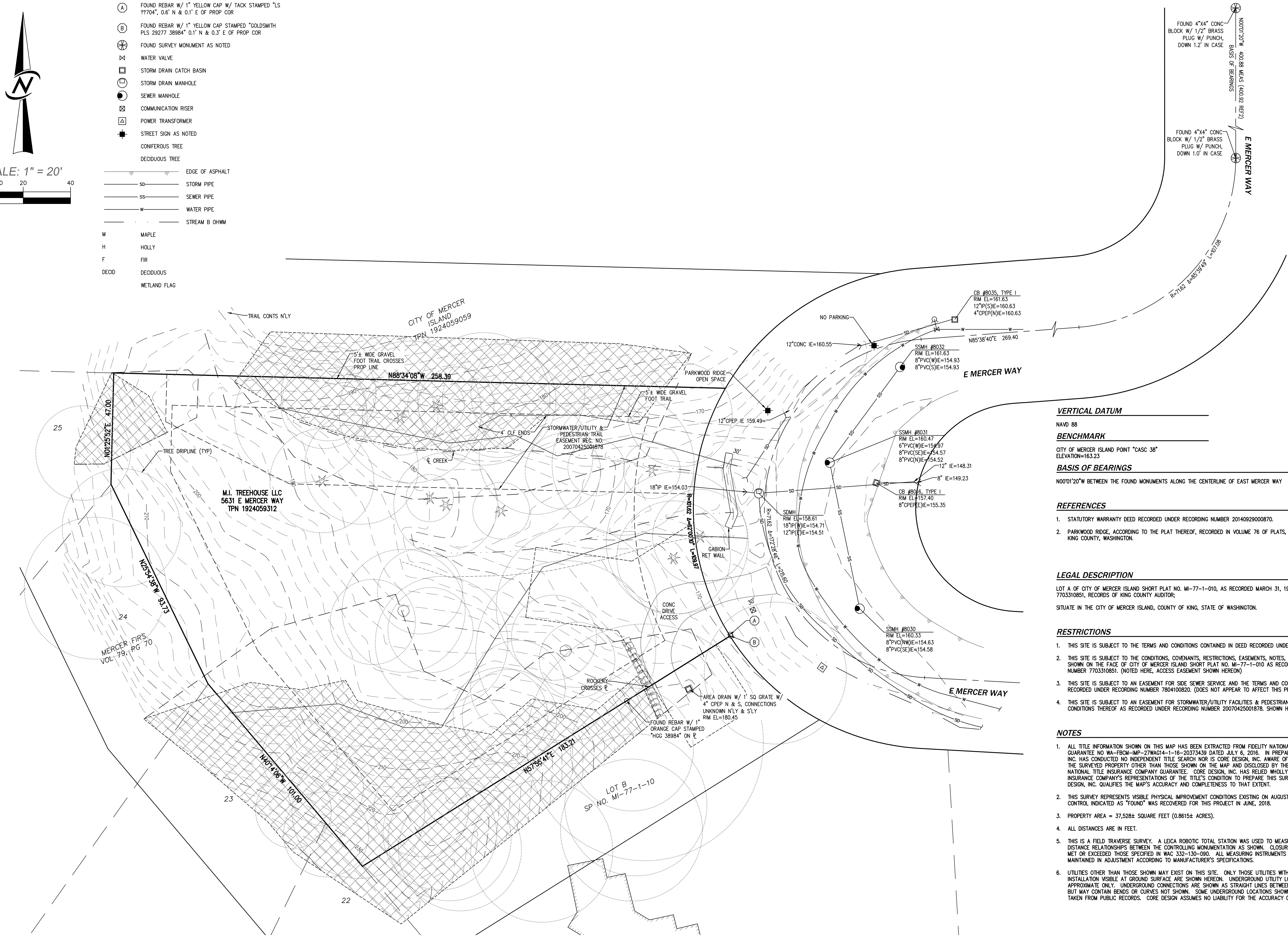
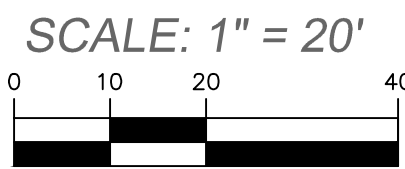
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LEGEND

- (A) FOUND REBAR W/ 1" YELLOW CAP W/ TACK STAMPED "LS 77704", 0.6' N & 0.1' E OF PROP. COR
- (B) FOUND REBAR W/ 1" YELLOW CAP STAMPED "GOLDSMITH PLS 29277 38984" 0.1' N & 0.3' E OF PROP. COR
- (M) FOUND SURVEY MONUMENT AS NOTED
- (X) WATER VALVE
- (S) STORM DRAIN CATCH BASIN
- (L) STORM DRAIN MANHOLE
- (S) SEWER MANHOLE
- (R) COMMUNICATION RISER
- (T) POWER TRANSFORMER
- (S) STREET SIGN AS NOTED
- (T) CONIFEROUS TREE
- (D) DECIDUOUS TREE

- EDGE OF ASPHALT
- SO STORM PIPE
- SS SEWER PIPE
- W WATER PIPE
- STREAM B OHWM

- M MAPLE
- H HOLLY
- F FIR
- DECID DECIDUOUS
- WETLAND FLAG



VERTICAL DATUM

NAVD 88

BENCHMARK

CITY OF MERCER ISLAND POINT "CASC 38" ELEVATION=163.23

BASIS OF BEARINGS

N00°01'20"W BETWEEN THE FOUND MONUMENTS ALONG THE CENTERLINE OF EAST MERCER WAY

REFERENCES

1. STATUTORY WARRANTY DEED RECORDED UNDER RECORDING NUMBER 20140929000870.
2. PARKWOOD RIDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 76 OF PLATS, PAGES 81-82, RECORDS OF KING COUNTY, WASHINGTON.

LEGAL DESCRIPTION

LOT A OF CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010, AS RECORDED MARCH 31, 1977 UNDER RECORDING NO. 7703310851, RECORDS OF KING COUNTY AUDITOR;
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

RESTRICTIONS

1. THIS SITE IS SUBJECT TO THE TERMS AND CONDITIONS CONTAINED IN DEED RECORDED UNDER RECORDING NUMBER 1579699.
2. THIS SITE IS SUBJECT TO THE CONDITIONS, COVENANTS, RESTRICTIONS, EASEMENTS, NOTES, AND SETBACKS, IF ANY, AS SHOWN ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NO. MI-77-1-010 AS RECORDED UNDER RECORDING NUMBER 7703310851. (NOTED HERE, ACCESS EASEMENT SHOWN HEREON)
3. THIS SITE IS SUBJECT TO AN EASEMENT FOR SIDE SEWER SERVICE AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 7804100620. (DOES NOT APPEAR TO AFFECT THIS PROPERTY)
4. THIS SITE IS SUBJECT TO AN EASEMENT FOR STORMWATER/UTILITY FACILITIES & PEDESTRIAN TRAIL AND THE TERMS AND CONDITIONS THEREOF AS RECORDED UNDER RECORDING NUMBER 20070425001878. SHOWN HEREON.

NOTES

1. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY GUARANTEE NO WA-FBCM-IMP-27WAG14-1-16-20373439 DATED JULY 6, 2016. IN PREPARING THIS MAP, CORE DESIGN, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS CORE DESIGN, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED FIDELITY NATIONAL TITLE INSURANCE COMPANY GUARANTEE. CORE DESIGN, INC. HAS RELIED WHOLLY ON FIDELITY NATIONAL TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE CORE DESIGN, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
2. THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON AUGUST 31, 2020. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JUNE, 2018.
3. PROPERTY AREA = 37,528± SQUARE FEET (0.8615± ACRES).
4. ALL DISTANCES ARE IN FEET.
5. THIS IS A FIELD TRAVERSE SURVEY. A LEICA ROBOTIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
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1	REVISIONS PER CITY COMMENTS	10/01/20
2	REVISIONS PER CITY COMMENTS	5/30/23
3	REVISIONS PER CITY COMMENTS	6/30/23

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
SURVEYING

12100 NE 195th St, Suite 300
Bellevue, Washington 98011 425.885.7877

TOPOGRAPHIC PLAN
MERCER ISLAND TREEHOUSE

MI TREEHOUSE LLC
PO BOX 261
MEDINA, WA 98040

DATE	OCTOBER 2020
DESIGNED	FLAVIO BANOTTI
DRAWN	CHUCK FEMLING
APPROVED	MICHAEL MOODY, PE
	MICHAEL MOODY, PE
	PROJECT MANAGER
SHEET	OF
C1.02	7
PROJECT NUMBER	18039

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BMP T5.13: Post-Construction Soil Quality and Depth

Purpose and Definition

Naturally occurring (undisturbed) soil and vegetation provide important stormwater functions including: water infiltration; nutrient, sediment, and pollutant adsorption; sediment and pollutant biofiltration; water interflow storage and transmission; and pollutant decomposition. These functions are largely lost when development strips away native soil and vegetation and replaces it with minimal topsoil and sod. Not only are these important stormwater functions lost, but such landscapes themselves become pollution generating pervious surfaces due to increased use of pesticides, fertilizers and other landscaping and household/industrial chemicals, the concentration of pet wastes, and pollutants that accompany roadside litter.

Establishing soil quality and depth regains greater stormwater functions in the post development landscape, provides increased treatment of pollutants and sediments that result from development and habitation, and minimizes the need for some landscaping chemicals, thus reducing pollution through prevention.

Applications and Limitations

Establishing a minimum soil quality and depth is not the same as preservation of naturally occurring soil and vegetation. However, establishing a minimum soil quality and depth will provide improved on-site management of stormwater flow and water quality.

Soil organic matter can be attained through numerous materials such as compost, composted woody material, biosolids, and forest product residuals. It is important that the materials used to meet the soil quality and depth BMP be appropriate and beneficial to the plant cover to be established. Likewise, it is important that imported topsoils improve soil conditions and do not have an excessive percent of clay fines.

This BMP can be considered infeasible on till soil slopes greater than 33 percent.

Design Guidelines

- Soil retention. Retain, in an undisturbed state, the duff layer and native topsoil to the maximum extent practicable. In any areas requiring grading remove and stockpile the duff layer and topsoil on site in a designated, controlled area, not adjacent to public resources and critical areas, to be reapplied to other portions of the site where feasible.
- Soil quality. All areas subject to clearing and grading that have not been covered by impervious surface, incorporated into a drainage facility or engineered as structural fill or slope shall, at project completion, demonstrate the following:
 1. A topsoil layer with a minimum organic matter content of 10% dry weight in planting beds, and 5% organic matter content in turf areas, and a pH from 6.0

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to 8.0 or matching the pH of the undisturbed soil. The topsoil layer shall have a minimum depth of eight inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least 4 inches with some incorporation of the upper material to avoid stratified layers, where feasible.

2. Mulch planting beds with 2 inches of organic material
3. Use compost and other materials that meet these organic content requirements:
 - a. The organic content for "pre-approved" amendment rates can be met only using compost meeting the compost specification for [BMP T7.30: Bioretention Cells, Swales, and Planter Boxes \(p.959\)](#), with the exception that the compost may have up to 35% biosolids or manure.

The compost must also have an organic matter content of 40% to 65%, and a carbon to nitrogen ratio below 25:1.

The carbon to nitrogen ratio may be as high as 35:1 for plantings composed entirely of plants native to the Puget Sound Lowlands region.
 - b. Calculated amendment rates may be met through use of composted material meeting (a.) above; or other organic materials amended to meet the carbon to nitrogen ratio requirements, and not exceeding the contaminant limits identified in Table 220-B, Testing Parameters, in [WAC 173-350-220](#).

The resulting soil should be conducive to the type of vegetation to be established.

- Implementation Options: The soil quality design guidelines listed above can be met by using one of the methods listed below:
 1. Leave undisturbed native vegetation and soil, and protect from compaction during construction.
 2. Amend existing site topsoil or subsoil either at default "pre-approved" rates, or at custom calculated rates based on tests of the soil and amendment.
 3. Stockpile existing topsoil during grading, and replace it prior to planting. Stockpiled topsoil must also be amended if needed to meet the organic matter or depth requirements, either at a default "pre-approved" rate or at a custom calculated rate.
 4. Import topsoil mix of sufficient organic content and depth to meet the requirements.

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More than one method may be used on different portions of the same site. Soil that already meets the depth and organic matter quality standards, and is not compacted, does not need to be amended.

Planning/Permitting/Inspection/Verification Guidelines & Procedures

Local governments are encouraged to adopt guidelines and procedures similar to those recommended in Guidelines and Resources For Implementing Soil Quality and Depth BMP T5.13 in WDOE Stormwater Management Manual for Western Washington. This document is available at: http://www.soilsforsalmon.org/pdf/Soil_BMP_Manual.pdf

Maintenance

- Establish soil quality and depth toward the end of construction and once established, protect from compaction, such as from large machinery use, and from erosion.
- Plant vegetation and mulch the amended soil area after installation.
- Leave plant debris or its equivalent on the soil surface to replenish organic matter.
- Reduce and adjust, where possible, the use of irrigation, fertilizers, herbicides and pesticides, rather than continuing to implement formerly established practices.

Runoff Model Representation

Areas meeting the design guidelines may be entered into approved runoff models as "Pasture" rather than "Lawn."



Flow reduction credits can be taken in runoff modeling when [BMP T5.13: Post-Construction Soil Quality and Depth](#) is used as part of a dispersion design under the conditions described in:

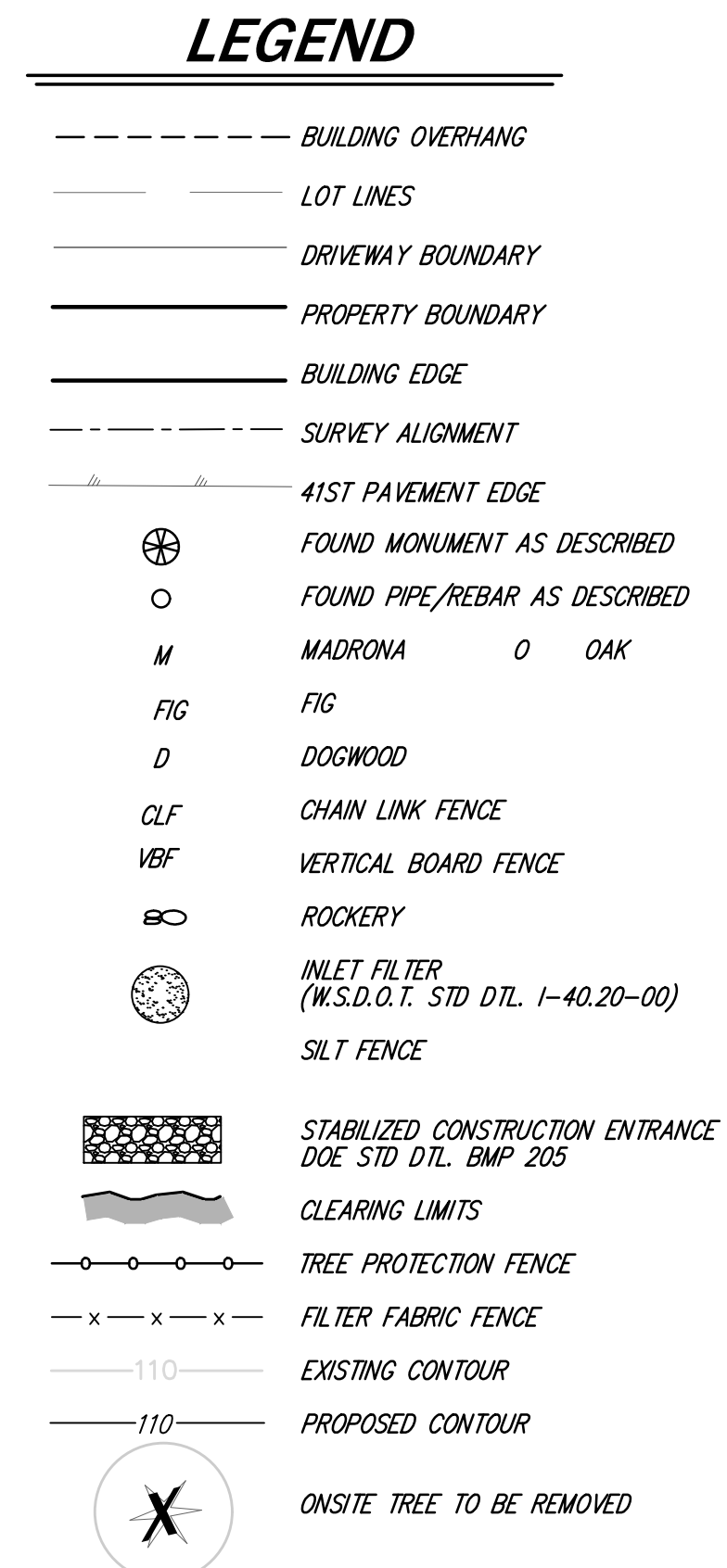
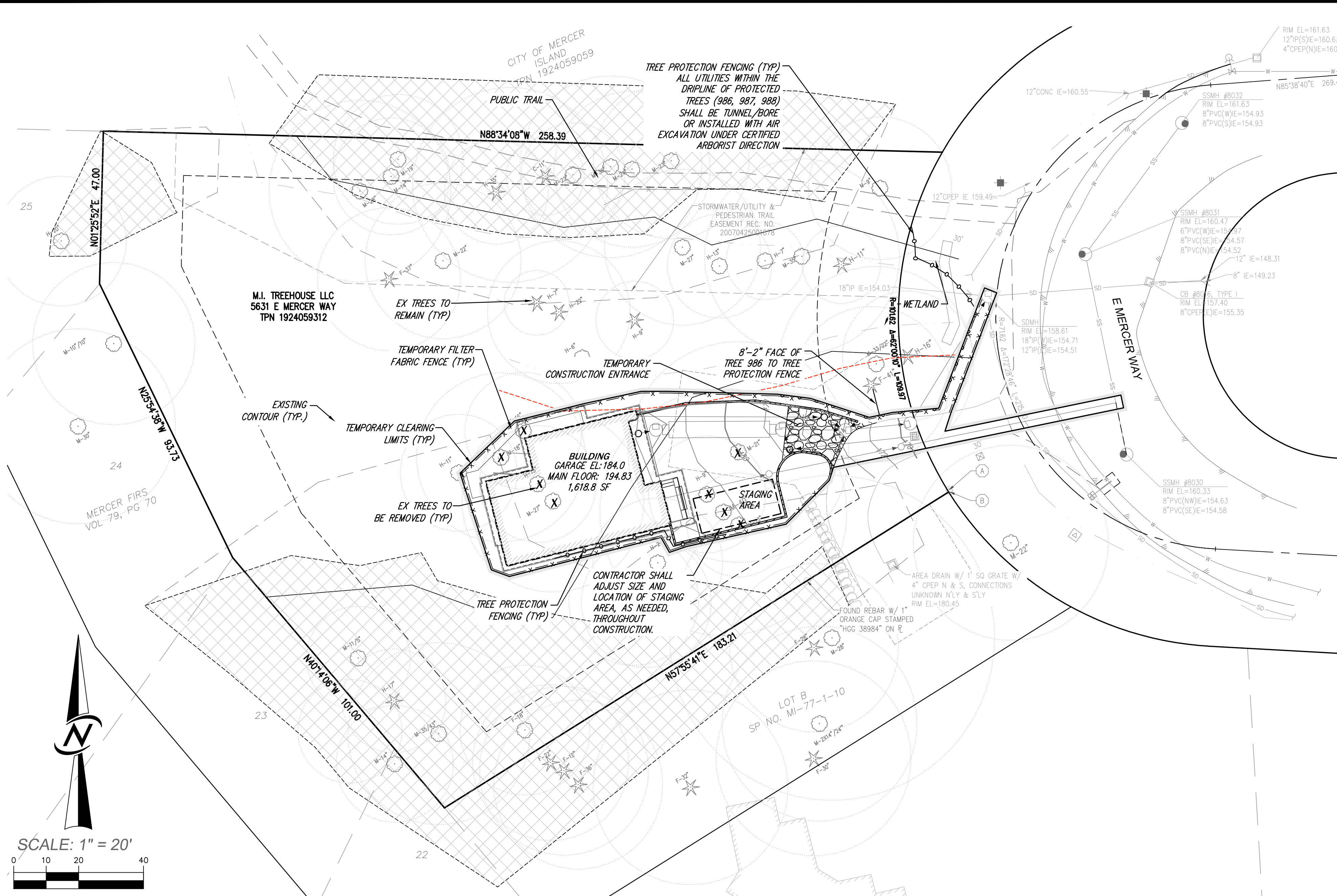
- [BMP T5.10B: Downspout Dispersion Systems \(p.905\)](#)
- [BMP T5.11: Concentrated Flow Dispersion \(p.905\)](#)
- [BMP T5.12: Sheet Flow Dispersion \(p.908\)](#)
- [BMP T5.18: Reverse Slope Sidewalks \(p.937\)](#)
- [BMP T5.30: Full Dispersion \(p.939\)](#) (for public road projects)

2014 Stormwater Management Manual for Western Washington
Volume V - Chapter 5 - Page 913

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DRAWN	CHUCK FEMLING	APPROVED	MICHAEL MOODY, PE
			MICHAEL MOODY, PE
			PROJECT MANAGER
NO. REVISIONS		DATE	
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3	REVISIONS PER CITY COMMENTS	6/30/23	
			
			
CIVIL ENGINEERING LANDSCAPE ARCHITECTURE PLANNING SURVEYING			
12100 NE 195th St, Suite 300 Bothell, Washington 98011 425.885.7877			
BMP NOTES MERCER ISLAND TREEHOUSE MI TREEHOUSE LLC PO BOX 261 MEDINA, WA 98040			
SHEET	C1.03	OF	7
PROJECT NUMBER			
18039			

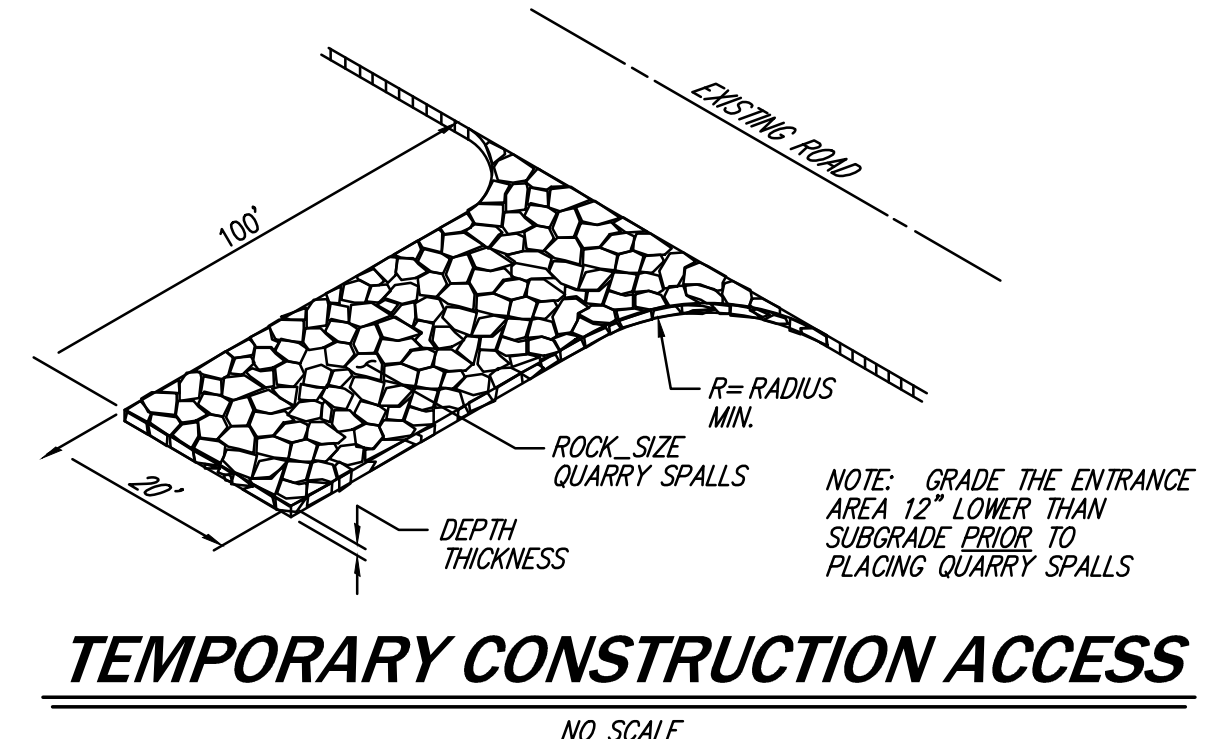
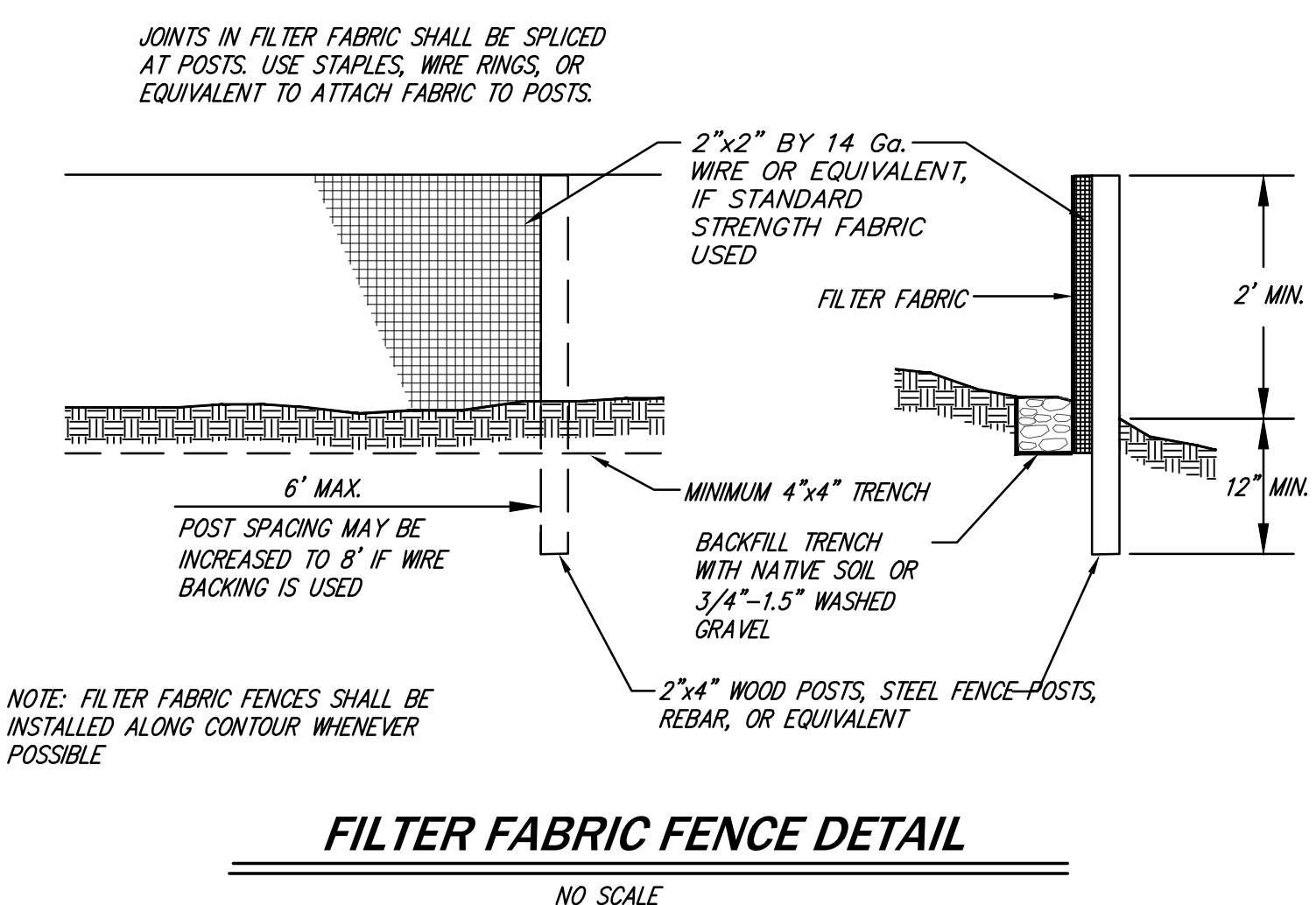
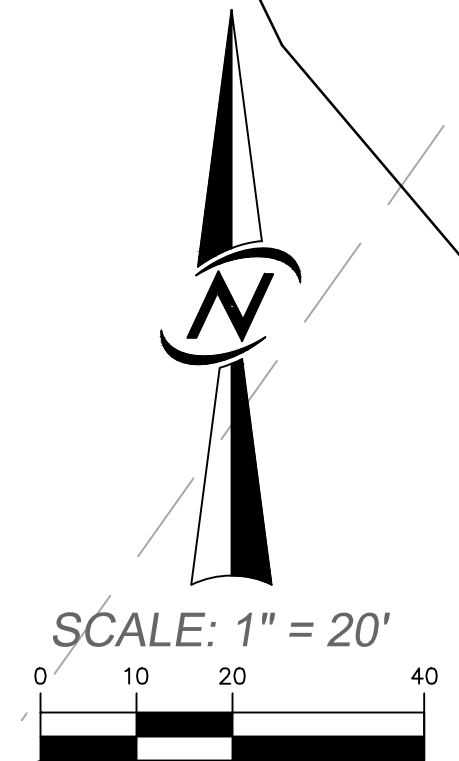


CONSTRUCTION SEQUENCE

1. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF MERCER ISLAND BY PHONING (206)-275-7726.
2. FLAG LIMITS OF CLEARING IN FIELD AS INDICATED ON SHEET C2.01.
3. CLEAR FOR AND CONSTRUCT THE ROCKED CONSTRUCTION ACCESS.
4. CONSTRUCT PERIMETER FILTER FABRIC FENCES.
5. CONSTRUCT DOWNSTREAM DISCHARGE SYSTEM, INTERCEPTOR SWALES, ROCK CHECK DAMS, STORM DRAINAGE PIPES, RIP RAP PADS.
6. CLEAR & GRADE SITE WHILE EXTENDING TEMPORARY INTERCEPTOR SWALE AS CONSTRUCTION PROCEEDS. ALL SILT-LADEN RUNOFF SHALL BE DIRECTED TO SEDIMENT RETENTION FACILITIES.
7. CLEAR FOR AND CONSTRUCT DETENTION TANK FOR USE FOR SEDIMENT RETENTION AND CONSTRUCT DISCHARGE SYSTEM.
8. CONSTRUCT SANITARY SEWER, WATER, & REMAINING STORM DRAINAGE FACILITIES PER THE APPROVED PLANS.
9. FINE GRADE AND PAVE THE DRIVEWAY.
10. UPON COMPLETION OF GRADING ACTIVITIES, STABILIZE ALL DISTURBED AREAS, REMOVE EXCESS SEDIMENT FROM THE TANK AND REMOVE ALL TEMPORARY EROSION/ SEDIMENTATION CONTROL FACILITIES.

TREE PROTECTION NOTES

1. CONTRACTOR SHALL COORDINATE WITH ARBORIST ON GRADING AROUND RETAINED TREES AND ROOTS.
2. ARBORIST TO BE ONSITE TO VERIFY PRESERVATION OF RETAINED TREES



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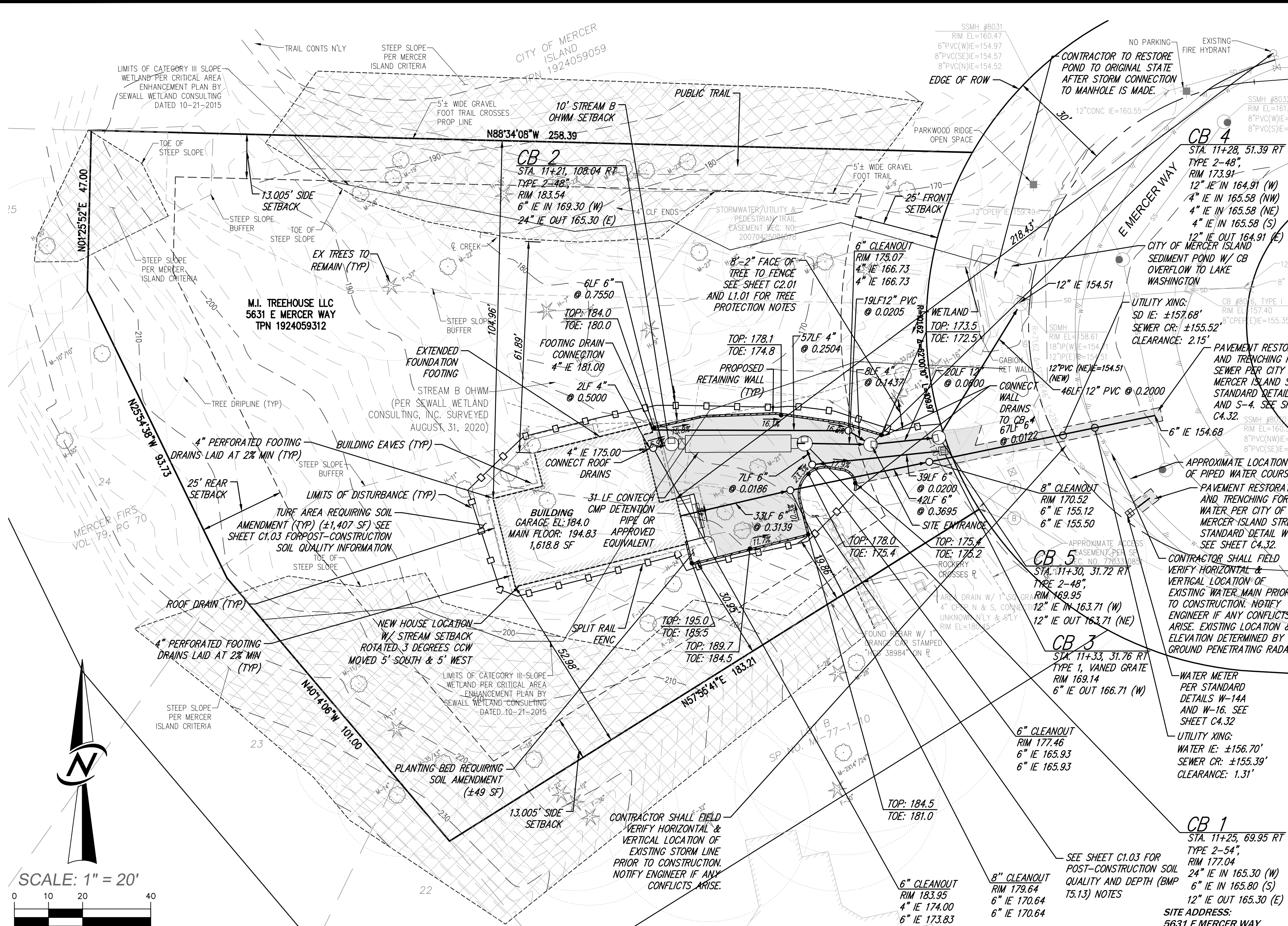
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4	REVISIONS PER CITY COMMENTS	08/21/23

CORE DESIGN
CIVIL ENGINEERING
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12100 NE 195th St, Suite 300, Bothell, Washington 98011, 425.885.7877

TESC & TREE RETENTION PLAN
MERCER ISLAND TREEHOUSE
MI TREEHOUSE LLC
PO BOX 261
MEDINA, WA 98040

SHEET	OF
C2.01	7
PROJECT NUMBER	18039

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STORM DRAINAGE GENERAL NOTES

- 1. ALL NEW CATCH BASINS SHALL CONFORM TO THE APWA WSDOT STANDARD DETAILS.
- 2. THE FOOTING DRAINAGE SYSTEM AND THE ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED.
- 3. PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION FILTER AND SILT REMOVAL FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM. FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASINS/INSERTS. PLACEMENT OF FILTER FABRIC UNDER GRADE IS NOT ACCEPTABLE.
- 4. PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN STRUCTURES SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAINAGE SYSTEM (SUCH AS RUBBLE, MORTAR, AND MESSY DEBRIS) SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATER.
- 5. ON-SITE DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
- 6. SEE FOUNDATION PLAN FOR FOOTING DRAIN LOCATIONS.
- 7. EXCAVATION OF ON-SITE CATCH BASINS WILL NOT IMPACT NEIGHBORING PROPERTY AND WILL BE CONTAINED BY WALL.

GENERAL NOTES

- 1. CONTRACTOR IS TO OBTAIN PERMITS AND GUARANTEES.
- 2. ALL DAMAGE TO ADJACENT PROPERTIES OR PUBLIC RIGHTS-OF-WAY RESULTING FROM CONSTRUCTION (E.G., SILTATION, MUD, WATER, RUNOFF, ROADWAY DAMAGE CAUSED BY CONSTRUCTION EQUIPMENT OR HAULING) SHALL BE EXPEDITIOUSLY MITIGATED AND REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE CITY. FAILURE TO MITIGATE AND REPAIR SAID DAMAGE OR TO COMPLY WITH THE APPROVED CONSTRUCTION PLANS, THE PERMITS ISSUED BY THE CITY OR THE CITY REQUIREMENT FOR CORRECTIVE ACTION SHALL BE CAUSE FOR THE ISSUANCE OF A "STOP WORK" ORDER, FORECLOSURE ON THE PLAT BOND/ SECURITY, AND/OR OTHER MEASURES DEEMED APPROPRIATE BY THE CITY ENGINEER OR CODE OFFICIAL TO ENSURE QUALITY CONSTRUCTION AND PROTECT THE PUBLIC SAFETY.
- 3. CONSTRUCTION OF ALL IMPROVEMENTS FOR ACCESS, UTILITIES, STORM DRAINAGE AND SITE WORK SHALL COMPLY WITH CURRENT CITY ORDINANCES AND THE REQUIREMENTS OF THE CITY ENGINEER.
- 4. ALL SHORT PLAT IMPROVEMENTS SHALL BE COMPLETED PRIOR TO FINAL APPROVAL AND RECORDING OF THE SHORT PLAT MYLAR DOCUMENTS OR BONDED AND COMPLETED PRIOR TO ISSUANCE OF BUILDING PERMITS WHEN APPROVED BY THE CITY ENGINEER. AN ACCURATELY PREPARED AS-BUILT DRAWING THAT SHOWS ALL UTILITIES AND SHORT PLAT IMPROVEMENTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF THE WORK PROVIDED TWO PAPER COPIES, ONE MYLAR AND ONE DXF AUTOCAD FILE. SUBMIT USING MERCER ISLAND'S DATUM AN IN THE PLAT TO AT LEAST TWO MONUMENTS.

TREE PROTECTION NOTES

- 1. CONTRACTOR SHALL COORDINATE WITH ARBORIST ON GRADING AROUND RETAINED TREES AND ROOTS.
- 2. ARBORIST TO BE ONSITE TO VERIFY PRESERVATION OF RETAINED TREES

WATER GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE DEVELOPER EXTENSION AGREEMENT, THE STANDARD SPECIFICATIONS AND THE STANDARD DETAILS OF THE CITY OF MERCER ISLAND.
- 2. THE APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN ON PLANS AND PROFILES FOR CONVENIENCE. THE CONTRACTOR SHALL POPTHOLE AND VERIFY LOCATION AND ELEVATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION AND INFORM ENGINEER OF ANY CONFLICTS.
- 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE LOCATED BY APPROPRIATE UTILITY DISTRICTS OR COMPANIES, ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 4. FOR UTILITY LOCATES IN KING COUNTY, CALL 1-800-424-5555 PRIOR TO DIGGING.

- PERMITS
5. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL REGULATORY PERMITS.
- 6. ALL WORK IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF PERMITTING AGENCY.

- PRE-CON
7. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY OF MERCER ISLAND'S OFFICE PRIOR TO THE START OF CONSTRUCTION. CITY STAFF WILL NOTIFY THE APPROPRIATE AGENCIES OR REPRESENTATIVES.
- 8. PRIOR TO CONSTRUCTING ANY WATER MAINS, THE STREET CENTERLINES OF THE DEVELOPMENT, CENTER OF CUL-DE-SACS, ALL WATER LINE EASEMENTS AND ALL LOT CORNERS SHALL BE STAKED. THE MAXIMUM STATIONING INTERVAL WILL BE 50 FEET WITH THE STATION NUMBER ON EACH STAKE.
- 9. HORIZONTAL CONTROL DATA SHALL BE NAD 83/91. VERTICAL CONTROL SHALL BE NAVD-88 DATUM.
- 10. AT THE CONCLUSION OF CONSTRUCTION, THE DEVELOPER'S REGISTERED PROFESSIONAL SURVEYOR SHALL PREPARE A DRAWING BASED ON THE SURVEYED LOCATIONS OF ALL APPURTENANCES INSTALLED, INCLUDING BUT NOT LIMITED TO, WATER MAIN, METER BOXES, BLOWOFFS, VALVES BOXES, HYDRANTS AND BENS. THE DISTRICT WILL PROVIDE LOCATES TO ASSIST THE SURVEYOR IN LOCATING THE WATER MAIN BETWEEN APPURTENANCES AND LOCATING THE BENS. THE DRAWING SHALL BE PROVIDED TO THE DISTRICT IN AUTOCAD FORMAT, R 2000 OR NEWER. IN ADDITION, ALL WATER EASEMENTS SHALL BE STAKED AND FLAGGED AT THEIR INTERSECTION WITH PROPERTY LINES AND AT 25 FOOT STATIONS ALONG THE EASEMENT LINES.

- CONSTRUCTION
11. THE WATER MAIN SHALL BE PLACED AS SHOWN ON PLAN.
- 12. A MINIMUM TEN (10) FOOT HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN THE SANITARY SEWER LINE AND THE WATER MAIN.
- 13. A FIVE (5) FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL WATER FACILITIES AND UNDERGROUND POWER AND TELEPHONE FACILITIES, UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- 14. DISTRICT VALVES SHALL ONLY BE OPERATED BY DISTRICT PERSONNEL.

- MATERIALS
15. ALL WATER MAIN PIPING SHALL BE DUCTILE-IRON MINIMUM THICKNESS CLASS 52, CEMENT-MORTAR LINED AND TYTON JOINT. ALL WATER MAIN PIPING TO MEET THE REQUIREMENTS OF AWWA C-151.
- 16. ALL WATER MAIN FITTINGS SHALL BE CEMENT-MORTAR LINED AND MEET THE REQUIREMENTS OF AWWA C-153.
- 17. POLYETHYLENE ENCASEMENT TO MEET THE AWA STANDARD C-105. ANY TEARS OR OPENINGS MADE FOR SERVICE OR TAPS SHALL BE REPAIRED WITH AN ADHESIVE TAPE.
- 18. ALL WATER MAIN PIPES AND SERVICES SHALL BE INSTALLED WITH A 14 (FOURTEEN) GAUGE, CONTINUOUS, SOLID-CORE, NEOPRENE COATED LOCATING WIRE. ANY CONNECTIONS OR SPLICES SHALL BE MADE WITH SPLIT-BOLT WIRE CONNECTORS.

- PLACEMENT
19. FIRE HYDRANT LOCATIONS TO BE APPROVED BY THE FIRE MARSHAL OF JURISDICTION.
- 20. WATER SERVICE LINE AND METER LOCATIONS WILL BE COORDINATED WITH THE DEVELOPER'S ENGINEER AFTER A THOROUGH REVIEW OF ALL UTILITY FACILITIES.
- 20-1. THE METER LOCATION SHALL BE WITHIN THREE (3) FEET OF THE PROPERTY LINE THAT IS PERPENDICULAR TO THE RIGHT-OF-WAY AND WITHIN ONE (1) FOOT OF THE EDGE OF PROPERTY ON THE RIGHT-OF-WAY SIDE UNLESS OTHERWISE APPROVED IN WRITING BY THE DISTRICT.
- 20-2. AFTER INSTALLATION OF THE METER AND BOX, A 2X4 BOARD PAINTED WHITE WITH "WATER SERVICE" STENCILED ONTO IT WILL BE DRIVEN INTO THE GROUND BEHIND THE METER BOX.

POST-CONSTRUCTION SOIL QUALITY AND DEPTH NOTES (CONT.)

- IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF SOIL AND AMENDMENT.
3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
4. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

SEWER GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE DEVELOPER EXTENSION AGREEMENT, THE STANDARD SPECIFICATIONS, STANDARD DETAILS OF THE CITY OF MERCER ISLAND.
- UTILITY LOCATES
2. THE APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN ON PLANS AND PROFILES FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF UTILITY LOCATIONS SHOWN AND FOR DISCOVERY OF POSSIBLE ADDITIONAL UTILITIES NOT SHOWN ON PLANS.
- 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE LOCATED, BY APPROPRIATE UTILITY DISTRICTS OR COMPANIES, ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 4. FOR UTILITY LOCATES IN KING COUNTY, CALL 1-800-424-5555 PRIOR TO DIGGING.

- PERMITS
5. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL REGULATORY PERMITS.
- 6. ALL WORK IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMITTING AGENCY.

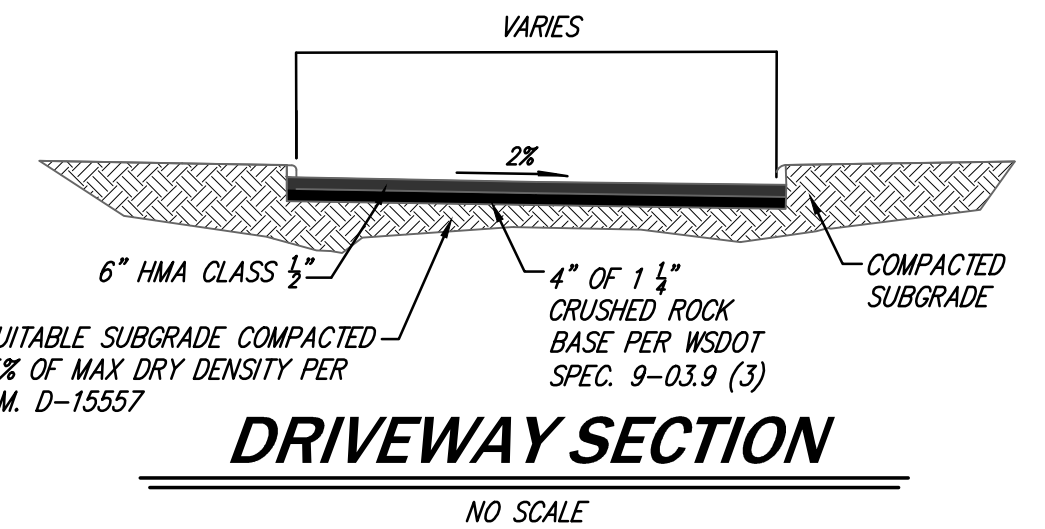
- PRE-CON
7. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD AT THE CITY OF MERCER ISLAND'S OFFICE PRIOR TO THE START OF CONSTRUCTION. DISTRICT STAFF WILL NOTIFY THE APPROPRIATE AGENCIES OR REPRESENTATIVES.
- SURVEYING
8. PRIOR TO CONSTRUCTING ANY SEWER MAINS, THE STREET CENTERLINES OF THE DEVELOPMENT, CENTER OF CUL-DE-SACS, ALL SEWER LINE EASEMENTS AND ALL LOT CORNERS SHALL BE STAKED. THE MAXIMUM STATIONING INTERVAL SHALL BE 50 FEET WITH THE STATION NUMBER ON EACH STAKE.
- 9. HORIZONTAL CONTROL DATA SHALL BE NAD 83/91. VERTICAL CONTROL SHALL BE NAVD-88 DATUM.
- 10. AT THE CONCLUSION OF CONSTRUCTION, THE DEVELOPER'S REGISTERED PROFESSIONAL SURVEYOR SHALL PREPARE A DRAWING BASED ON THE SURVEYED LOCATION OF ALL AT-GRADE APPURTENANCES INSTALLED, INCLUDING BUT NOT LIMITED TO, LOCATION OF EXISTING MANHOLES INCLUDING RIM & ALL INVERT ELEVATIONS AND NEW MANHOLE LOCATIONS INCLUDING RIM & ALL INVERT ELEVATIONS. THE DRAWING SHALL BE PROVIDED TO THE DISTRICT IN AUTOCAD FORMAT, R 2000 OR NEWER. IN ADDITION, ALL SEWER EASEMENTS SHALL BE STAKED AND FLAGGED AT THEIR INTERSECTION WITH PROPERTY LINES AND AT 25 FOOT STATIONS ALONG THE EASEMENT LINES.

POST-CONSTRUCTION SOIL QUALITY AND DEPTH NOTES

- SOIL RETENTION
RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.
- SOIL QUALITY
ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A pH FROM 6.0 TO 8.0 OR MATCHING THE pH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF THE INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYER, WHERE FEASIBLE.

- CONSTRUCTION
11. THE SEWER MAIN SHALL BE PLACED FIVE (5) FEET SOUTH OR WEST FROM THE CENTERLINE OF THE ROADWAY, UNLESS OTHERWISE SHOWN ON THE PLAN.
- 12. A MINIMUM TEN (10) FOOT HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN THE SANITARY SEWER LINE AND THE WATER MAIN.
- 13. AFTER TRENCH BACKFILL AND COMPACTION, PVC SANITARY SEWER MAINS SHALL BE TESTED FOR DEFLECTION AS SPECIFIED IN SECTION 7-17.3(2)G OF THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION TEST OBSERVATION AND INSPECTION BY NORTHSORE.
- UTILITY DISTRICT
14. WHENEVER SANITARY SEWER CROSSES BELOW A WATER MAIN, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER LINE IS AT LEAST EIGHTEEN (18) INCHES BELOW THE BOTTOM OF THE WATER MAIN.
- 15. ALL MANHOLES SHALL HAVE A MINIMUM DROP OF ONE-TENTH (0.10) FOOT AND FIVE-TENTHS (0.50) FOOT MAXIMUM DROP BETWEEN INVERT IN AND INVERT OUT.
- 16. MANHOLES IN THE PUBLIC RIGHT-OF-WAY SHALL BE A MINIMUM OF EIGHT (8) FEET IN DEPTH OR PER APPROVED PLANS.
- 17. MANHOLES NOT IN PAVED PUBLIC RIGHT-OF-WAY TO HAVE LOCKING LIDS AND ALL FRAMES SHALL BE LOCKING TYPE PER THE STANDARD DETAILS.
- 18. FOR PIPE SLOPES GREATER THAN 20% RESTRAINED-JOINT DUCTILE IRON PIPE SHALL BE USED FOR EVERY JOINT.
- 19. SIDE SEWER STUBS SHALL HAVE A MINIMUM OF TWO (2) PERCENT SLOPE AND MAXIMUM OF FORTY-FIVE (45) DEGREE SLOPE. STUBS SHALL BE 12" MINIMUM DIAMETER FOR ALL STUBS LESS THAN EIGHT (8) FEET IN DEPTH. INSTALL A THREE (3) INCH WIDE GREEN METALLIC DETECTOR TAPE 12" ABOVE THE PIPE. THE ENTIRE LENGTH OF THE STUB CONTINUING UP THE 2X4 SIDE SEWER MARKER POST. IDENTIFICATION ON THE TAPE SHALL INCLUDE THE WORDS "SANITARY SEWER".
- MATERIALS
20. SANITARY SEWER PIPE LESS THAN EIGHTEEN (18) FEET IN DEPTH AND LESS THAN 20% SLOPE SHALL BE PVC CONFORMING TO ASTM D-3034, SDR-35 AND SHALL BE BEDDED WITH CLEAN, GRANULAR MANUFACTURED PEA GRAVEL FROM 4" UNDER TO 6" OVER THE PIPE. SANITARY SEWER PIPE EIGHTEEN (18) FEET DEEP AND GREATER, OR ON A SLOPE OF 20% DUCTILE-IRON PIPE MUST MEET THE REQUIREMENTS OF AWWA C-151.
- 21. HIGH-DENSITY POLYETHYLENE (HDPE) SHALL BE SDR-11 MINIMUM.

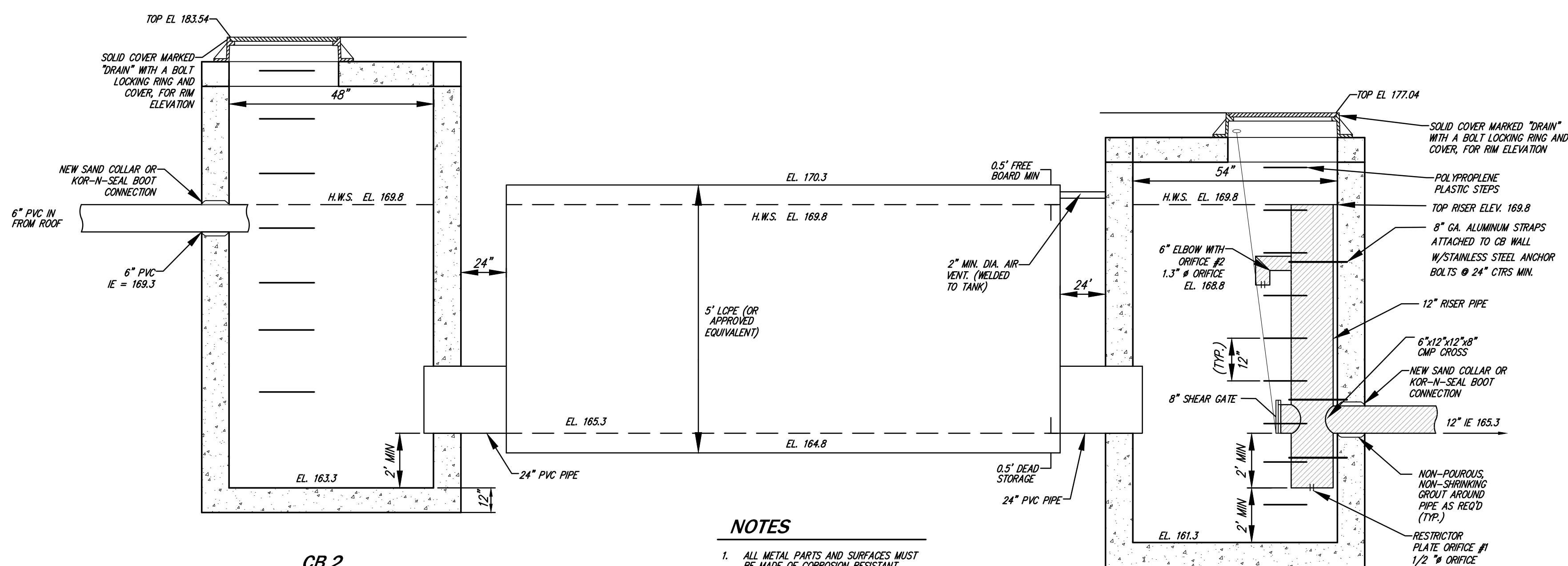
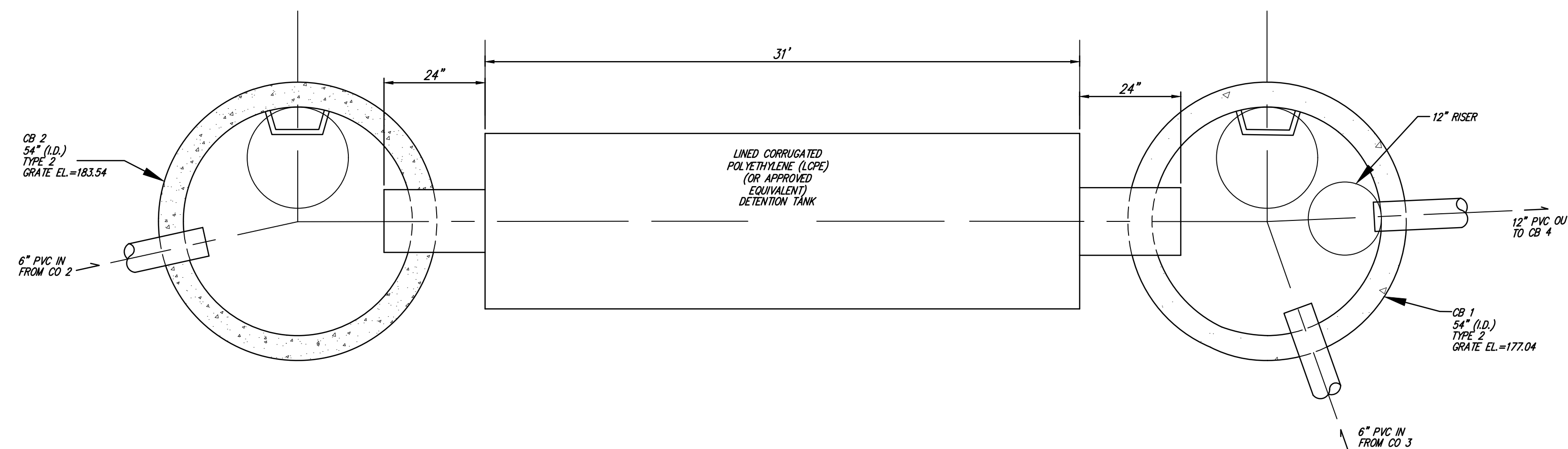
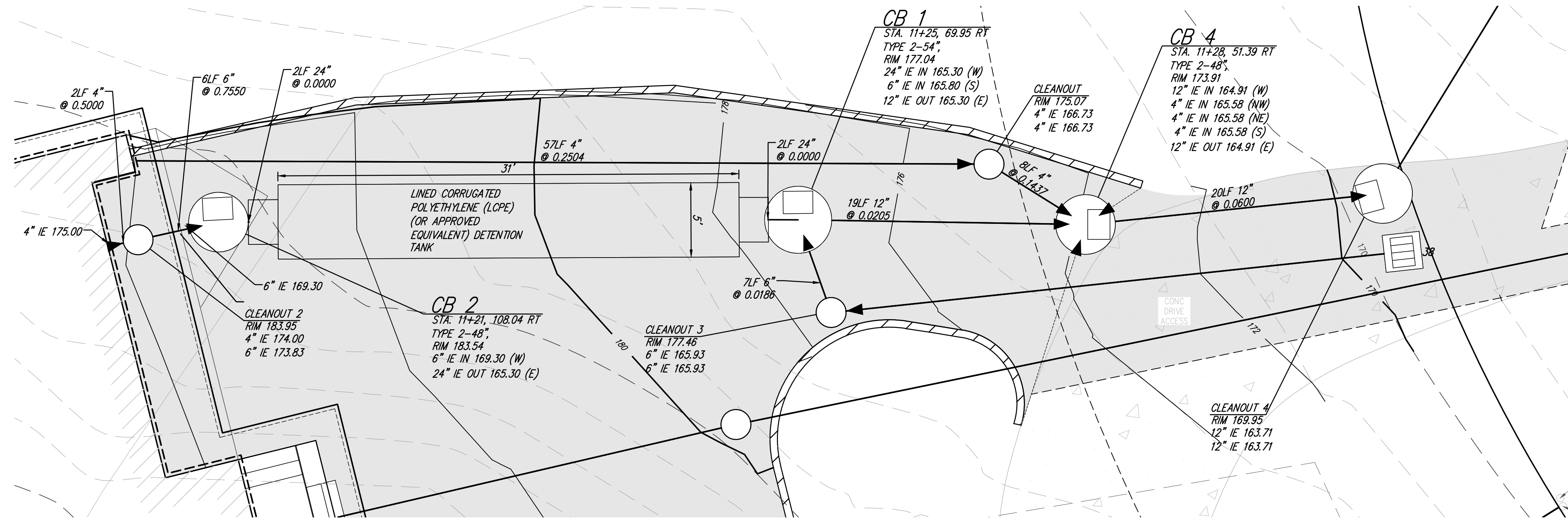
- 2. MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.
- 3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
A. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BMP 17.30: BIOPRETENTION CYVILLS, SWALES, AND PLANTER BOXES (P.959 OF THE 2014 STANDARD), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65% AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
B. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A) ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-350-220.



UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, CONTACTING ALL UTILITY COMPANIES, POtholing THE UTILITIES, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POtholing ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT CORE DESIGN, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

DATE: OCTOBER 2020
DESIGNED: FLAVIO BIANOTTI
DRAWN: CHUCK FEMLING
APPROVED: MICHAEL MOODY, PE
PROJECT MANAGER: MICHAEL MOODY, PE
SHEET OF: C4.01 7
PROJECT NUMBER: 18039

CORE DESIGN
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
SURVEYING
12100 NE 195th St, Suite 300, Bothell, Washington 98011 425.865.7877



- NOTES**
1. ALL METAL PARTS AND SURFACES MUST BE MADE OF CORROSION RESISTANT MATERIAL OR GALVANIZED. COMPLETE CORROSION PROTECTION MUST BE ASSURED.
 2. PROPOSED BUILDING SHALL BE FITTED WITH SPRINKLERS. FIRE TRUCK ACCESS IS NOT ASSUMED ON ACCESS DRIVEWAY.

UNDERGROUND LOCATOR SERVICE
CALL BEFORE YOU DIG!
811

UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, CONTACTING ALL UTILITY COMPANIES, POT-HOLING THE UTILITIES, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT CORE DESIGN, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

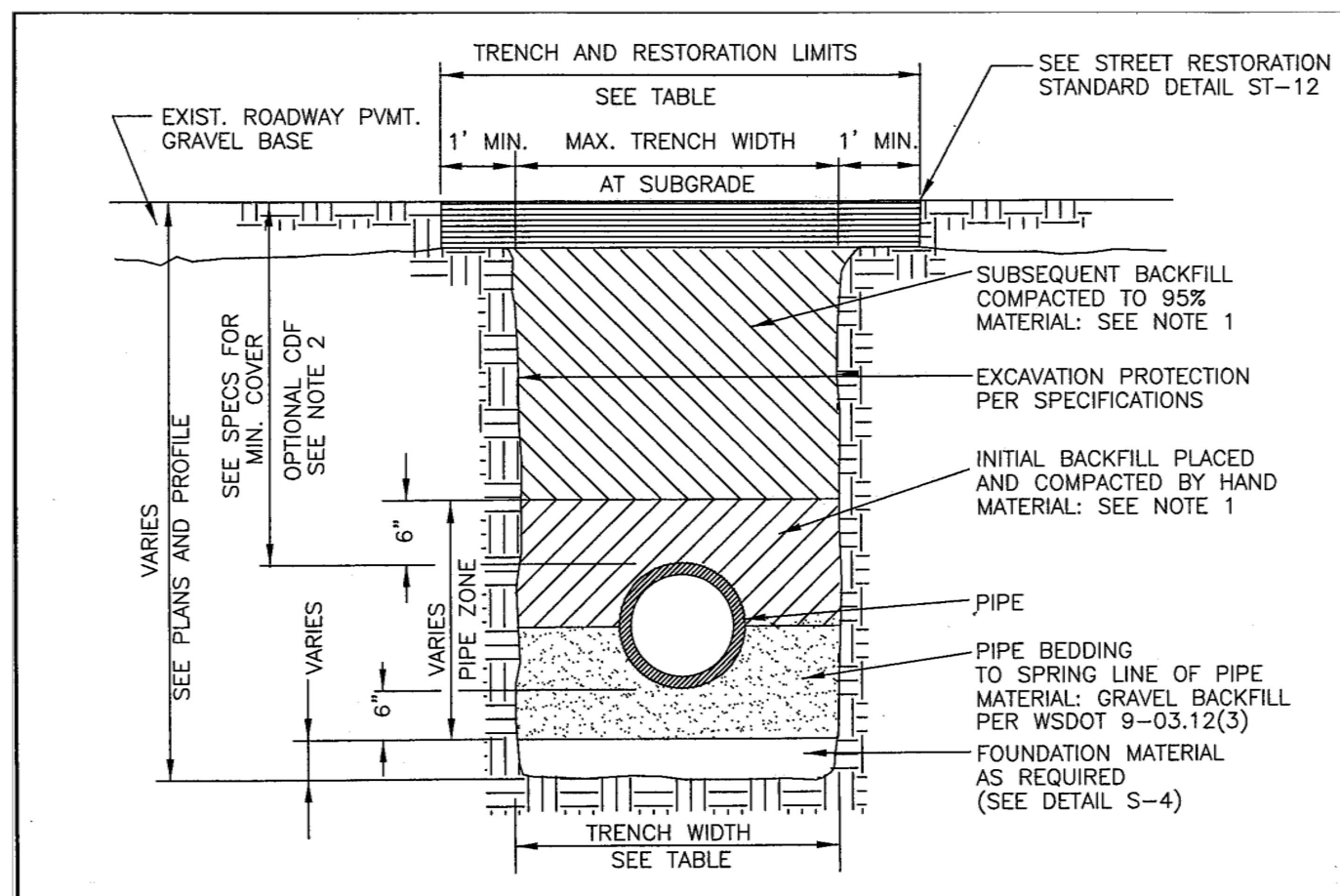
DATE	OCTOBER 2020	DESIGNED	FLAVIO BIANOTTI
DRAWN	CHUCK FEMLING	APPROVED	MICHAEL MOODY, PE
SHEET	C4.31	PROJECT MANAGER	MICHAEL MOODY, PE
OF	7		
PROJECT NUMBER	18039		

STORM DRAINAGE DETAILS
MERCER ISLAND TREEHOUSE
MI TREEHOUSE LLC
PO BOX 261
MEDINA, WA 98040

CORE DESIGN
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
SURVEYING
12100 NE 195th St, Suite 300
Bellevue, Washington 98011 425.885.7877

REVISIONS PER CITY COMMENTS
1 10/01/20
2 10/05/20
3 10/05/20

REVISIONS PER CITY COMMENTS
1 10/01/20
2 10/05/20
3 10/05/20

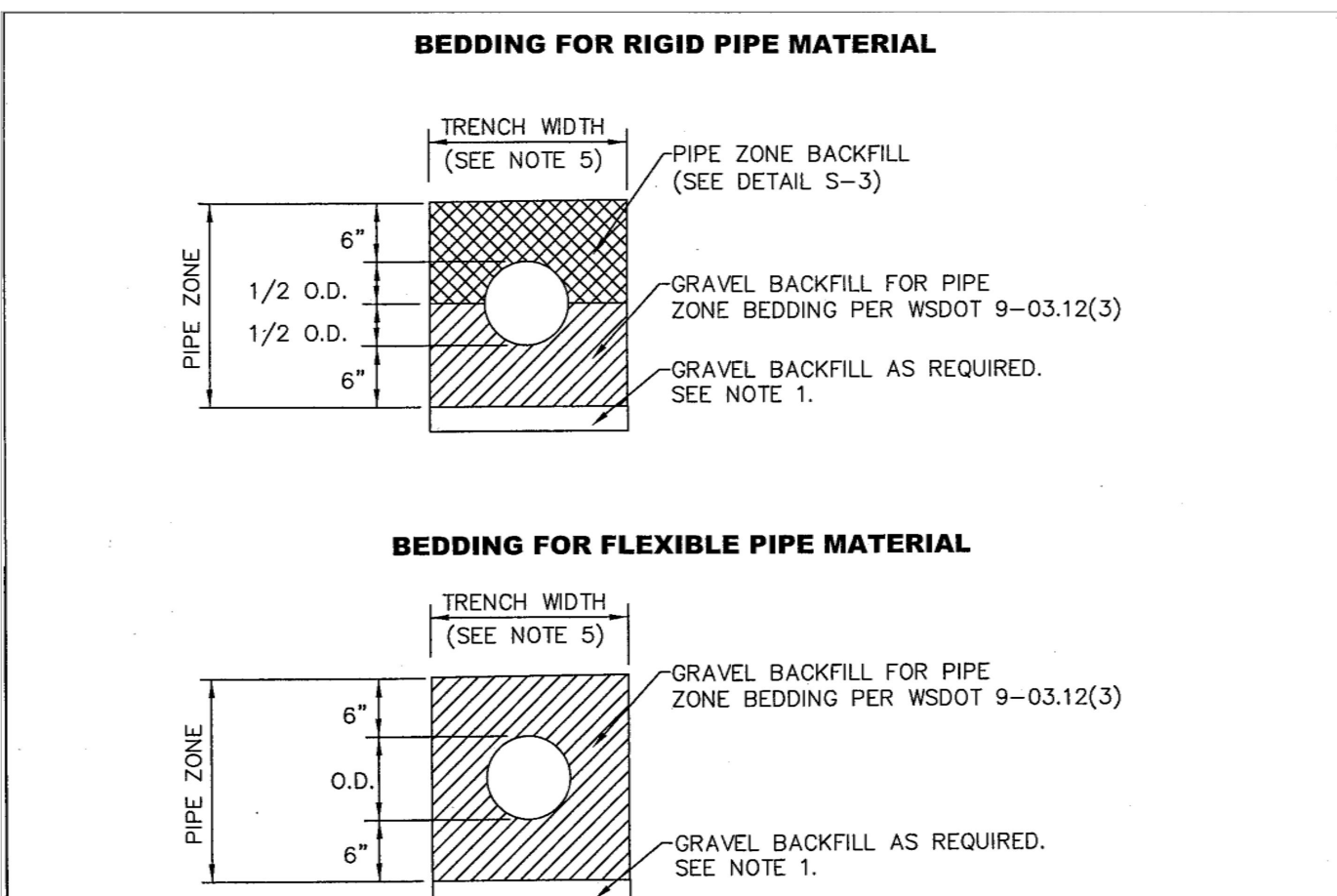


TRENCH WIDTH

PIPE SIZE	PIPE ZONE MAX. TRENCH WIDTH AT SUBGRADE	MAX. RESTORATION WIDTH AT SURFACE
4" OR 6"	2'-2"	3'-0"
8"	2'-4"	4'-0"
10"	2'-6"	4'-0"
12"	2'-8"	4'-6"

CITY OF MERCER ISLAND STANDARD DETAILS SEWER TRENCH DETAIL S-3

6-5-2009 NO SCALE APPROVED

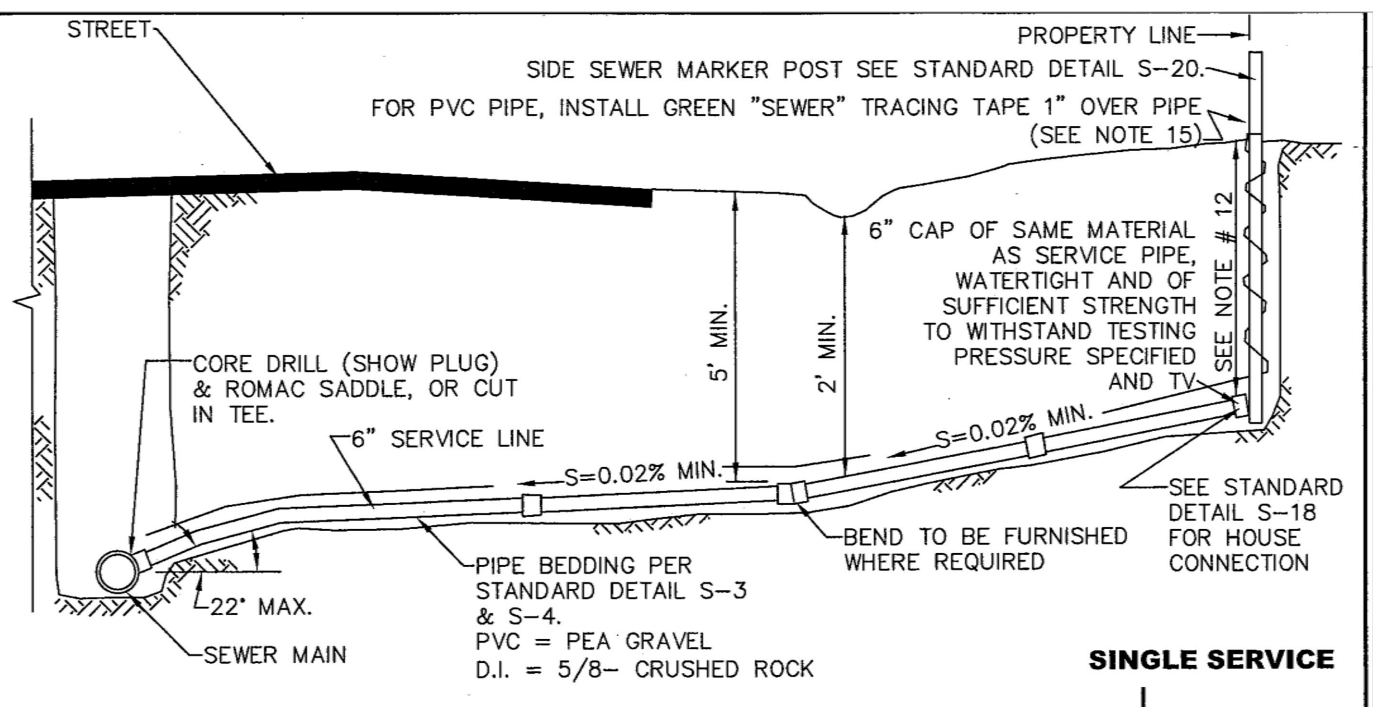


TRENCH WIDTH

PIPE SIZE	PIPE ZONE MAX. TRENCH WIDTH AT SUBGRADE	MAX. RESTORATION WIDTH AT SURFACE
4" OR 6"	2'-2"	3'-0"
8"	2'-4"	4'-0"
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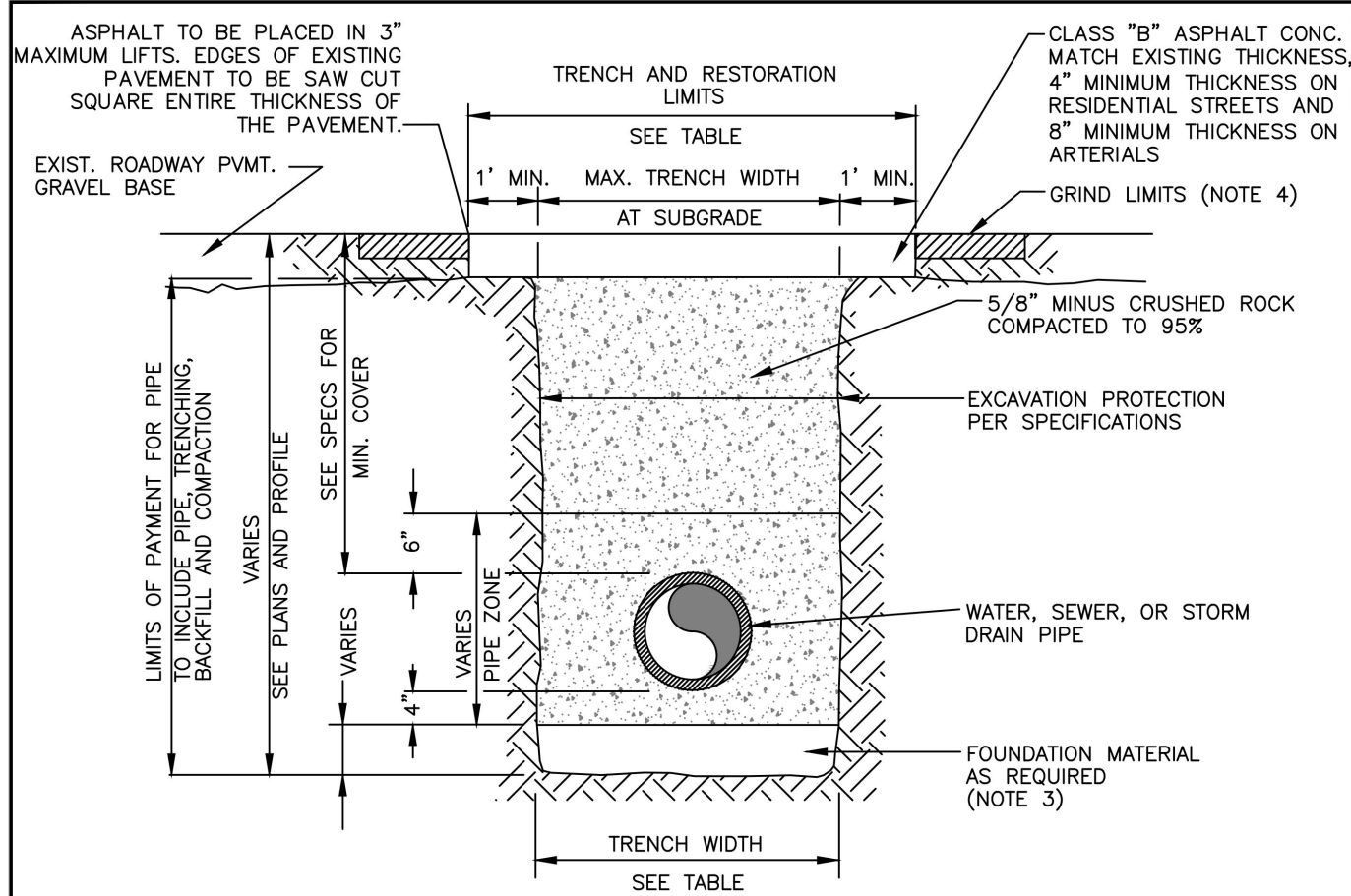
CITY OF MERCER ISLAND STANDARD DETAILS SEWER PIPE BEDDING S-4

6-5-2009 NO SCALE APPROVED



CITY OF MERCER ISLAND STANDARD DETAILS SEWER SINGLE SERVICE AND STUB S-17

6-5-2009 NO SCALE APPROVED

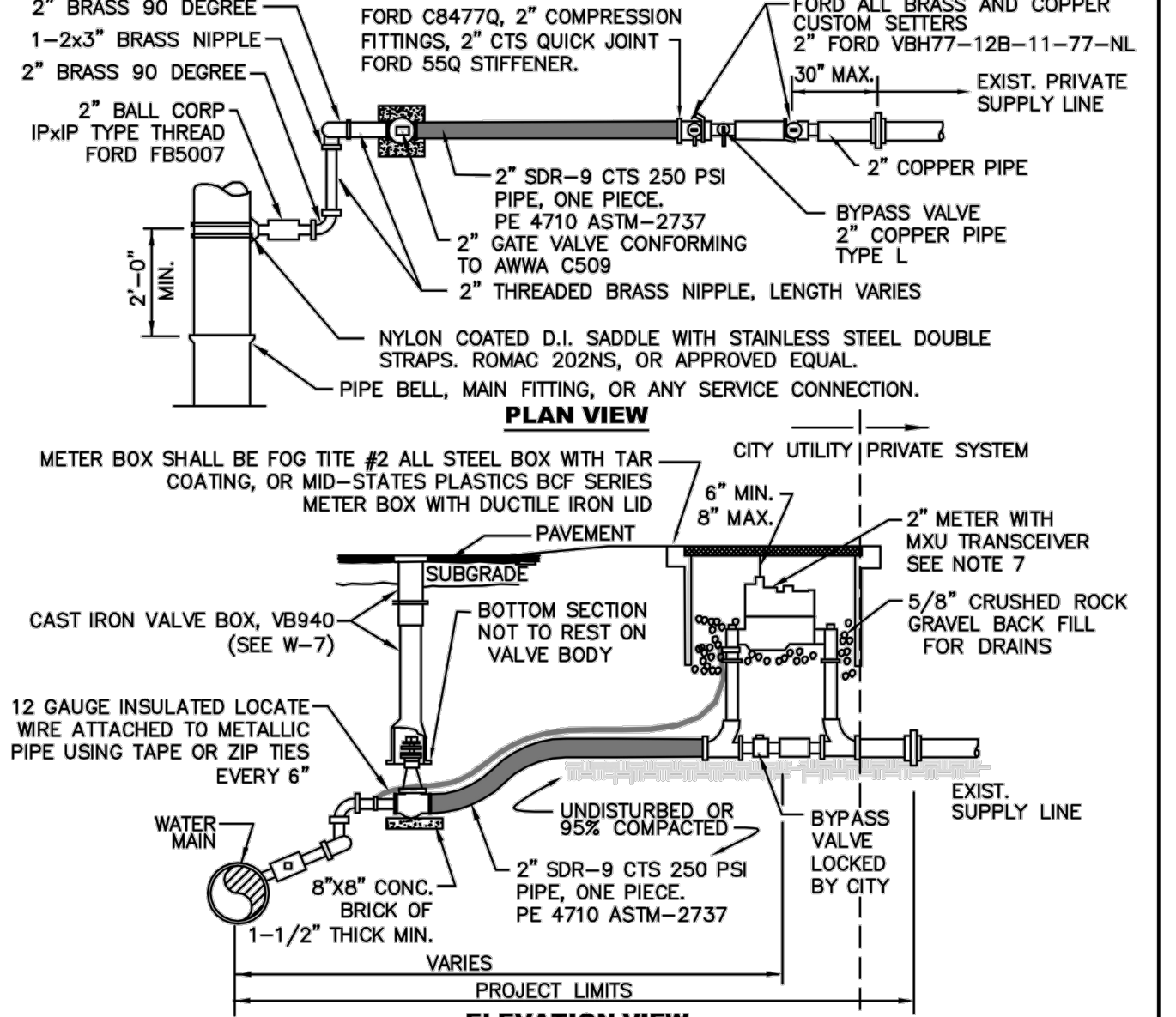


WIDTH TRENCH

PIPE SIZE	PIPE ZONE MAX. TRENCH WIDTH AT SUBGRADE	MAX. RESTORATION WIDTH AT SURFACE
WATER SERVICES	2'-0"	2'-0"
4" OR 6"	2'-2"	3'-0"
8"	2'-4"	4'-0"
10"	2'-6"	4'-0"
12"	2'-8"	4'-6"
16"	3'-0"	5'-0"

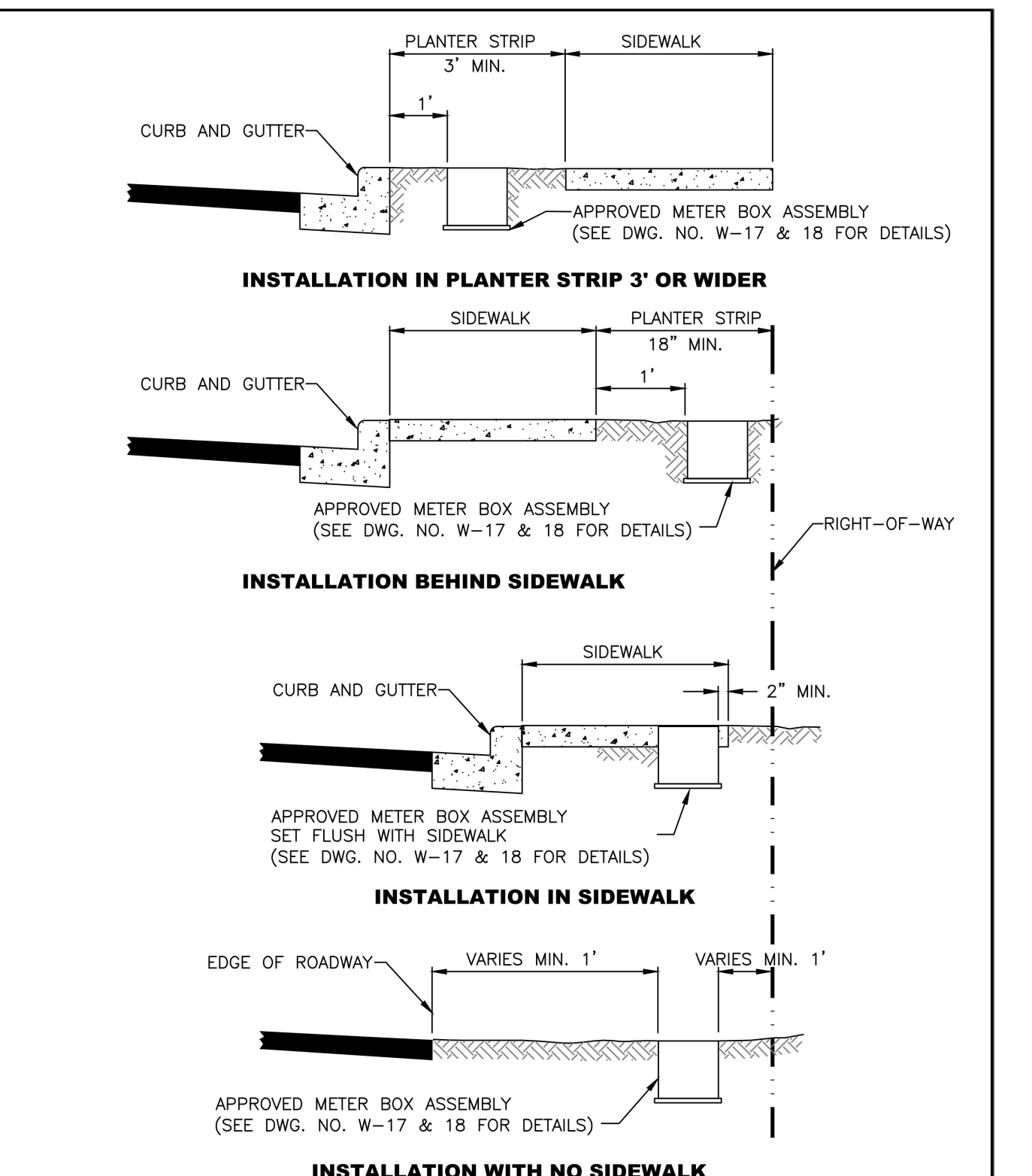
CITY OF MERCER ISLAND STANDARD DETAILS WATER TRENCH SECTION W-3

3-29-2021 NO SCALE APPROVED



CITY OF MERCER ISLAND STANDARD DETAILS WATER 2\"/>

02-05-2021 NO SCALE APPROVED



CITY OF MERCER ISLAND STANDARD DETAILS WATER WATER METER PLACEMENT W-16

3-20-2006 NO SCALE APPROVED

UTILITY CONFLICT NOTE:
CAUTION:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, CONTACTING ALL UTILITY COMPANIES, POTHOLES THE UTILITIES, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE # 1-800-424-555 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT CORE DESIGN, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

MI TREEHOUSE LLC
 PO BOX 261
 MEDINA, WA 98040

WATER AND SEWER DETAILS
MERCER ISLAND TREEHOUSE

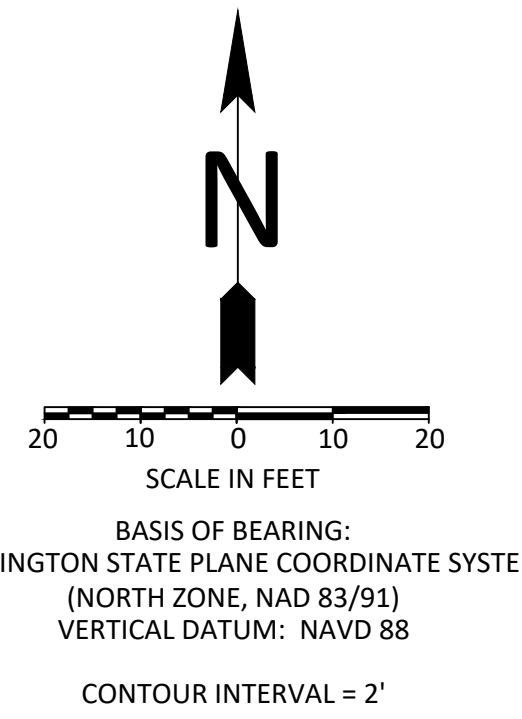
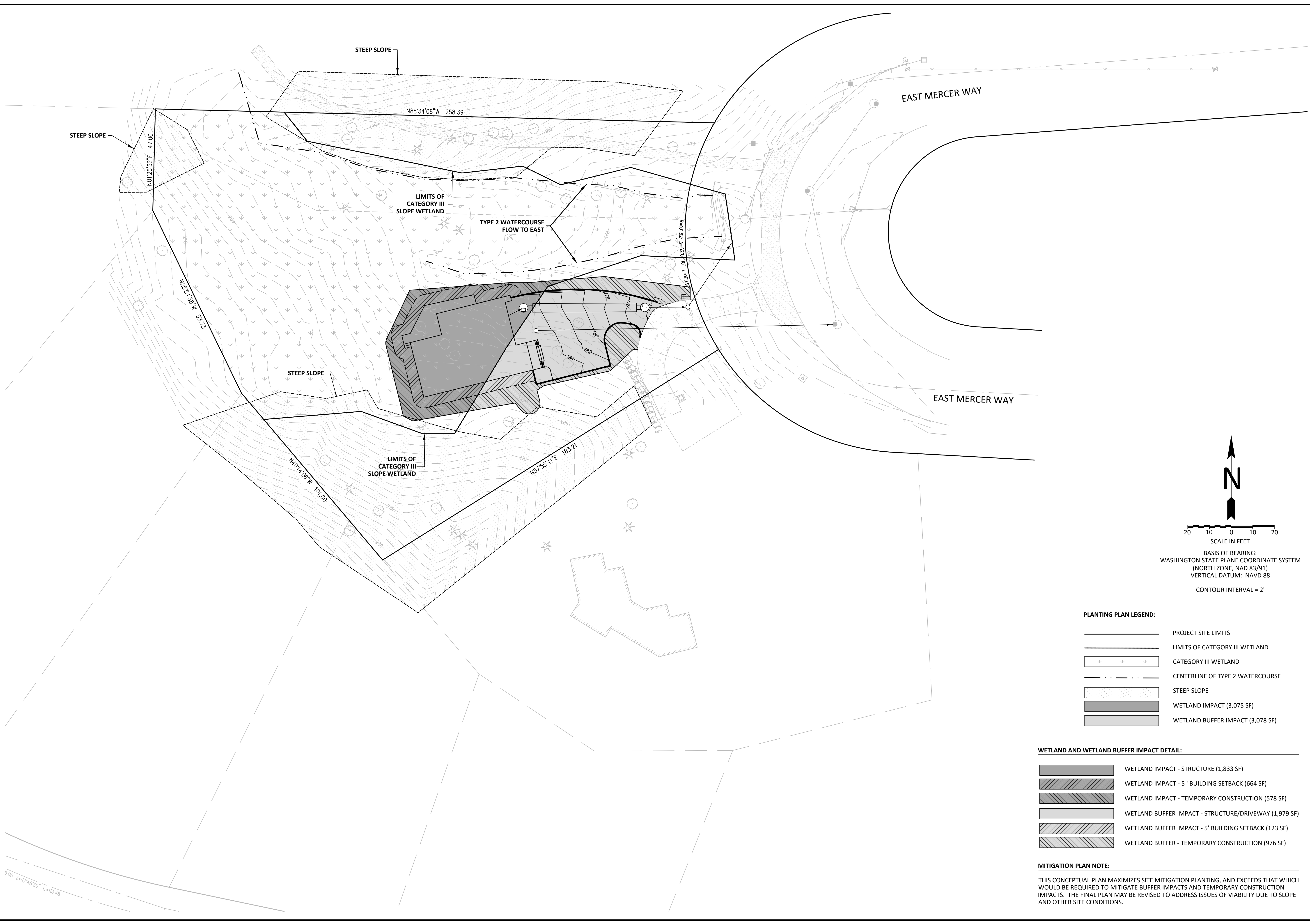
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
SURVEYING

CORE DESIGN
 12100 NE 195th St, Suite 300
 Bothell, Washington 98011 425.885.7877

DATE: OCTOBER 2020
 DESIGNED: FLAVIO BANOTTI
 DRAWN: CHUCK FEMLING
 APPROVED: MICHAEL MOODY, PE
 PROJECT MANAGER: MICHAEL MOODY, PE

DATE: 10/6/22
 REVISIONS PER CITY COMMENTS: 1
 DATE: 5/30/23
 REVISIONS PER CITY COMMENTS: 2
 DATE: 6/30/23
 REVISIONS PER CITY COMMENTS: 3

SHEET C4.32 OF 7
 PROJECT NUMBER 18039



PLANTING PLAN LEGEND:

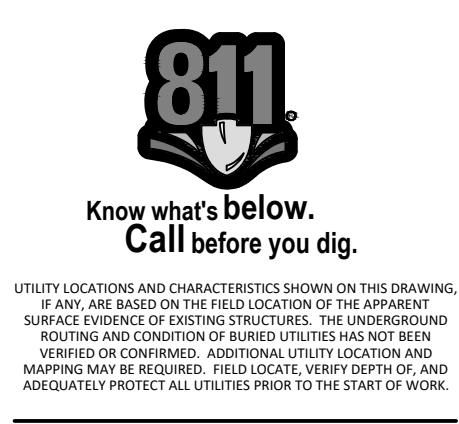
	PROJECT SITE LIMITS
	LIMITS OF CATEGORY III WETLAND
	CATEGORY III WETLAND
	CENTERLINE OF TYPE 2 WATERCOURSE
	STEEP SLOPE
	WETLAND IMPACT (3,075 SF)
	WETLAND BUFFER IMPACT (3,078 SF)

WETLAND AND WETLAND BUFFER IMPACT DETAIL:

	WETLAND IMPACT - STRUCTURE (1,833 SF)
	WETLAND IMPACT - 5' BUILDING SETBACK (664 SF)
	WETLAND IMPACT - TEMPORARY CONSTRUCTION (578 SF)
	WETLAND BUFFER IMPACT - STRUCTURE/DRIVEWAY (1,979 SF)
	WETLAND BUFFER IMPACT - 5' BUILDING SETBACK (123 SF)
	WETLAND BUFFER - TEMPORARY CONSTRUCTION (976 SF)

MITIGATION PLAN NOTE:
 THIS CONCEPTUAL PLAN MAXIMIZES SITE MITIGATION PLANTING, AND EXCEEDS THAT WHICH WOULD BE REQUIRED TO MITIGATE BUFFER IMPACTS AND TEMPORARY CONSTRUCTION IMPACTS. THE FINAL PLAN MAY BE REVISED TO ADDRESS ISSUES OF VIABILITY DUE TO SLOPE AND OTHER SITE CONDITIONS.

CRITICAL AREA ENHANCEMENT PLAN
- MI TREEHOUSE LLC -
 5637 EAST MERCER WAY
 MERCER ISLAND, WASHINGTON



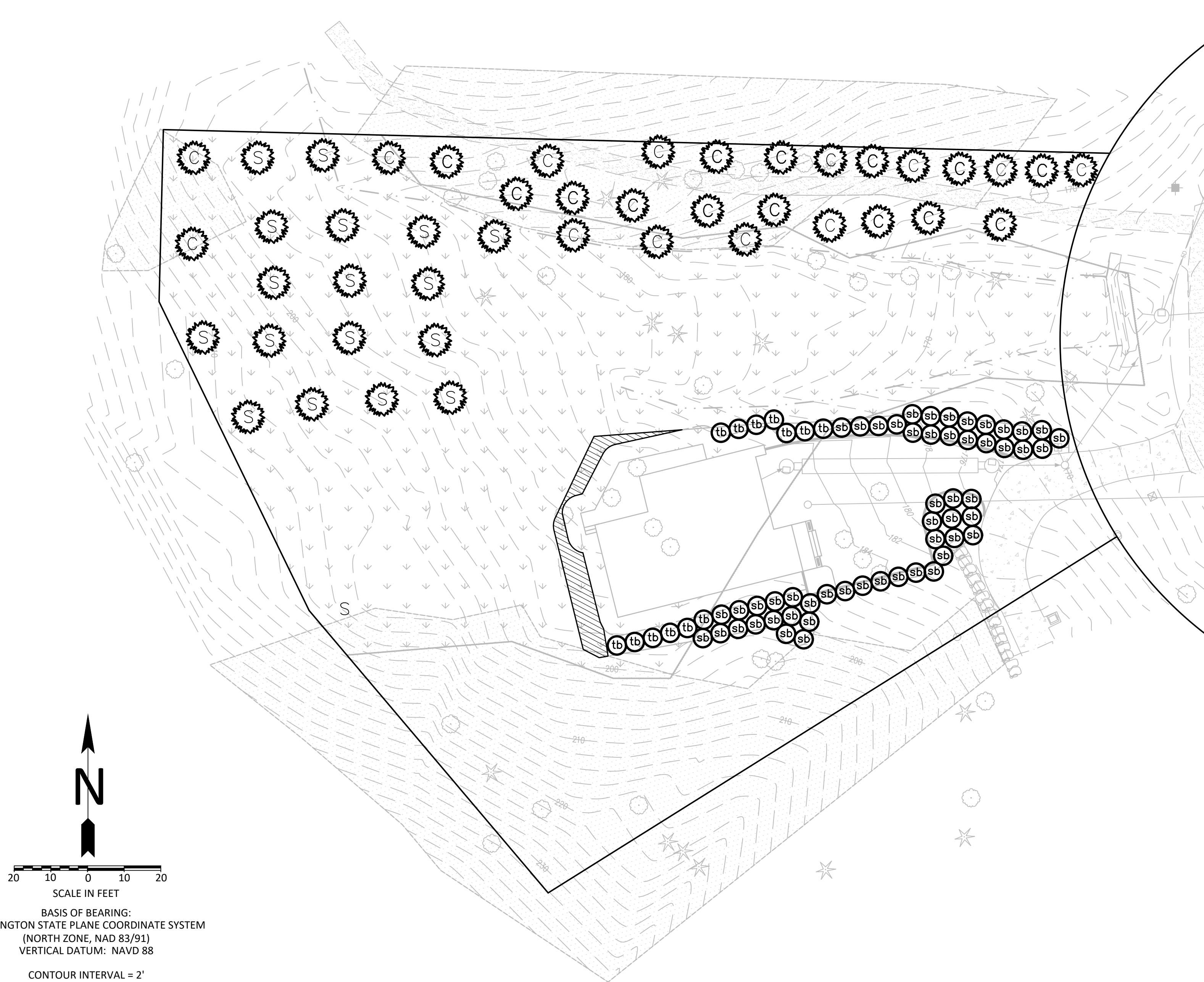
NO. DATE NOTES

1.	09/08/15	ADDED STREAM
2.	10/21/15	REVISED PER CITY COMMENTS
3.	12/04/18	REVISED PER NEW SITE PLAN
4.	12/17/18	ADDED IMPACT SITE PLAN
5.	01/24/19	REVISED PLANTING PLAN
6.	01/25/19	ADDED MITIGATION PLAN NOTE
7.	10/30/19	REVISED PER NEW SITE PLAN
8.	12/02/20	REVISED PER NEW SITE PLAN
9.	10/06/22	REVISED MONITORING PLAN
10.	05/23/23	ADDED TREE REPLACEMENT PLAN
11.	06/23/23	REVISED PLANTING PLAN

DATE: 03/04/2015
 JOB NUMBER: 14-206

SITE PLAN

5.00 4=17°48'50" L=103.48



MITIGATION PLAN NOTE:
 THIS CONCEPTUAL PLAN MAXIMIZES SITE MITIGATION PLANTING, AND EXCEEDS THAT WHICH WOULD BE REQUIRED TO MITIGATE BUFFER IMPACTS AND TEMPORARY CONSTRUCTION IMPACTS. THE FINAL PLAN MAY BE REVISED TO ADDRESS ISSUES OF VIABILITY DUE TO SLOPE AND OTHER SITE CONDITIONS.

- PLANTING PLAN NOTES:**
- BASE TOPOGRAPHIC AND SITE PLAN PROVIDED BY HEALY-JORGENSEN ARCHITECTS (2958 222ND PLACE SE - SAMMAMISH, WASHINGTON 98075; 425-454-3096). SOURCE DRAWINGS HAVE BEEN MODIFIED FOR VISUAL ENHANCEMENT.
 - PROTECT AND ACCOMMODATE EXISTING NATIVE VEGETATION WHEN INSTALLING PLANTS.
 - PLANT MATERIAL QUALITY AND LOCATIONS SHALL BE INSPECTED BY PLAN DESIGNER PRIOR TO PLANT INSTALLATION.
 - PLANT LOCATIONS SHOWN ARE APPROXIMATE. ADJUST PLANT LOCATIONS TO ACCOMMODATE SITE CONDITIONS, TO PRESERVE AND PROTECT EXISTING NATIVE VEGETATION, AND/OR PER PLAN DESIGNER AT THE TIME OF INSTALLATION.
 - SEE THIS SHEET FOR PLANT INSTALLATION DETAILS.

PLANT SCHEDULE:

SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE/FORM	QUANTITY	SPACING
S	SITKA SPRUCE	<i>PICEA SITCHENSIS</i>	6 FT BALL AND BURLAP	17	AS SHOWN
C	WESTERN REDCEDAR	<i>THUJA PLICATA</i>	2 GALLON CONTAINERIZED	27	AS SHOWN
tb	TWINBERRY HONEYSUCKLE	<i>LONICERA INVOLUCRATA</i>	2 GALLON CONTAINERIZED	13	AS SHOWN
sb	SALMONBERRY	<i>RUBUS SPECTABILIS</i>	2 GALLON CONTAINERIZED	53	AS-SHOWN
[Hatched Box]	RED-OSIER DOGWOOD	<i>CORNUS SERICEA</i>	4 FOOT LIVE STAKE	25	4 FT ON-CENTER
				TOTAL - 135	

1 PLANTING PLAN

MONITORING PLAN & MAINTENANCE PLAN

ENHANCEMENT PLAN GOALS, OBJECTIVES, AND PERFORMANCE STANDARDS

ENHANCEMENT PLAN GOALS, OBJECTIVES, AND PERFORMANCE STANDARDS ARE OUTLINED IN TABLE 2-1 (BELOW). THE GOALS AND OBJECTIVES OF THIS PLAN ARE CONSIDERED ACHIEVED WHEN THE PERFORMANCE STANDARDS ARE SATISFIED.

MONITORING PLAN

AS-BUILT

FOLLOWING COMPLETION OF THE WORK SHOWN ON THIS PLAN, A QUALIFIED PROFESSIONAL SHALL PREPARE AN AS-BUILT OF THE COMPLETED WORK. THE AS-BUILT SHALL SUMMARIZE THE COMPLETED WORK AS WELL AS ANY DEVIATIONS FROM THE APPROVED VERSION OF THIS PLAN.

BASELINE MONITORING DATA SHALL BE COLLECTED AT THE TIME OF THE AS-BUILT (SEE "ANNUAL COMPLIANCE MONITORING" FOR FIELD DATA COLLECTION REQUIREMENTS). PERMANENT PHOTO POINTS SHALL BE ESTABLISHED AT THE TIME OF THE AS-BUILT TO PHOTOGRAPHICALLY DOCUMENT REPRESENTATIVE CONDITIONS WITHIN BUFFER AREAS. BASELINE MONITORING AND PHOTOGRAPHS SHALL BE SUBMITTED WITH THE AS-BUILT.

THE AS-BUILT AND BASELINE MONITORING DATA SHALL BE SUBMITTED TO THE CITY OF MERCER ISLAND NO LATER THAN 30 DAYS FROM THE DATE THAT THE WORK SHOWN ON THIS PLAN HAS BEEN COMPLETED.

ANNUAL MONITORING

FOLLOWING ACCEPTANCE OF THE AS-BUILT BY THE CITY OF MERCER ISLAND, ANNUAL COMPLIANCE MONITORING SHALL BE COMPLETED FOR A PERIOD OF FIVE (5) YEARS. ANNUAL COMPLIANCE MONITORING SHALL BE COMPLETED BY A QUALIFIED PROFESSIONAL AND SHALL COMPRISE A SITE INVESTIGATION IN AUGUST OR SEPTEMBER AND REPORTING TO THE CITY OF MERCER ISLAND BY NOVEMBER 30 OF EACH MONITORING YEAR.

MONITORING SHALL COMPRISE A QUANTITATIVE ASSESSMENT OF CONDITIONS WITHIN BUFFER AREAS FOR PURPOSES OF EVALUATING THE CURRENT YEAR'S SUCCESS STANDARDS. AT THE TIME OF EACH MONITORING, THE FOLLOWING INFORMATION SHALL BE COLLECTED WITHIN BUFFER AREAS AND ASSESSED RELATIVE TO THE SUCCESS STANDARDS ESTABLISHED FOR THE PROJECT:

- THE CONDITION OF INSTALLED PLANT STOCK INCLUDING SURVIVORSHIP, HEALTH, AND VIGOR. THE RATIONALE FOR POOR CONDITIONS, IF PRESENT, WILL BE DETERMINED. A DIRECT COUNT INVENTORY AND ASSESSMENT OF INSTALLED PLANT STOCK SHALL BE USED TO EVALUATE PLANT STOCK CONDITIONS. IN ADDITION, PHOTOGRAPHS OF BUFFER AREAS SHALL BE TAKEN FROM THE PERMANENT PHOTO POINTS ESTABLISHED DURING THE AS-BUILT.
- YEAR 5 ONLY - WETLAND LIMITS SHALL BE VERIFIED USING THE WETLAND DELINEATION METHODS DESCRIBED IN THE 1987 CORPS OF ENGINEER WETLAND DELINEATION MANUAL AS AMENDED BY THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS MANUAL: WESTERN MOUNTAINS, VALLEYS, AND COAST (VERSION 2.0).

THE RESULTS OF EACH MONITORING ASSESSMENT SHALL BE SUMMARIZED IN A WRITTEN REPORT AND SUBMITTED TO THE CITY OF MERCER ISLAND NO LATER THAN NOVEMBER 30 OF THE RESPECTIVE MONITORING YEAR.

CONTINGENCY PLAN

SHOULD ANY COMPLIANCE MONITORING ASSESSMENT REVEAL THAT THE PERFORMANCE STANDARDS FOR THE RESPECTIVE YEAR ARE NOT SATISFIED, THE PERMITTEE SHALL WORK WITH THE CITY OF MERCER ISLAND TO DEVELOP A CONTINGENCY PLAN TO ADDRESS THE DEFICIENCY(IES). CONTINGENCY PLANS CAN INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ACTIONS:

- ADDITIONAL PLANT INSTALLATION;
- EROSION CONTROL;
- HERBIVORY PROTECTION;
- MODIFICATION TO THE IRRIGATION REGIME; AND/OR
- PLANT SUBSTITUTIONS OF TYPE, SIZE, QUANTITY, AND LOCATION.

SUCH CONTINGENCY PLAN SHALL BE SUBMITTED TO THE CITY OF MERCER ISLAND BY JANUARY 31 OF ANY YEAR WHEN DEFICIENCIES ARE DISCOVERED. UNLESS OTHERWISE APPROVED BY THE CITY OF MERCER ISLAND, ACTIONS SPECIFIED ON AN APPROVED CONTINGENCY PLAN MUST BE COMPLETED WITHIN 60 DAYS. IF THE FAILURE IS SUBSTANTIAL, THE CITY OF MERCER ISLAND MAY EXTEND THE COMPLIANCE MONITORING PERIOD FOR THE ENHANCEMENT WORK.

MAINTENANCE PLAN

THIS SECTION PROVIDES A GENERAL OVERVIEW OF THE MAINTENANCE PROGRAM NECESSARY TO ENSURE THE PERFORMANCE STANDARDS ESTABLISHED FOR THIS PLAN ARE SATISFIED.

GENERAL MAINTENANCE

INSTALLED PLANTS SHALL BE MAINTAINED AT REGULAR INTERVALS DURING THE MONITORING PERIOD TO PROMOTE THE SUCCESSFUL ESTABLISHMENT AND VIGOROUS GROWTH OF THE INSTALLED TREE STOCK.

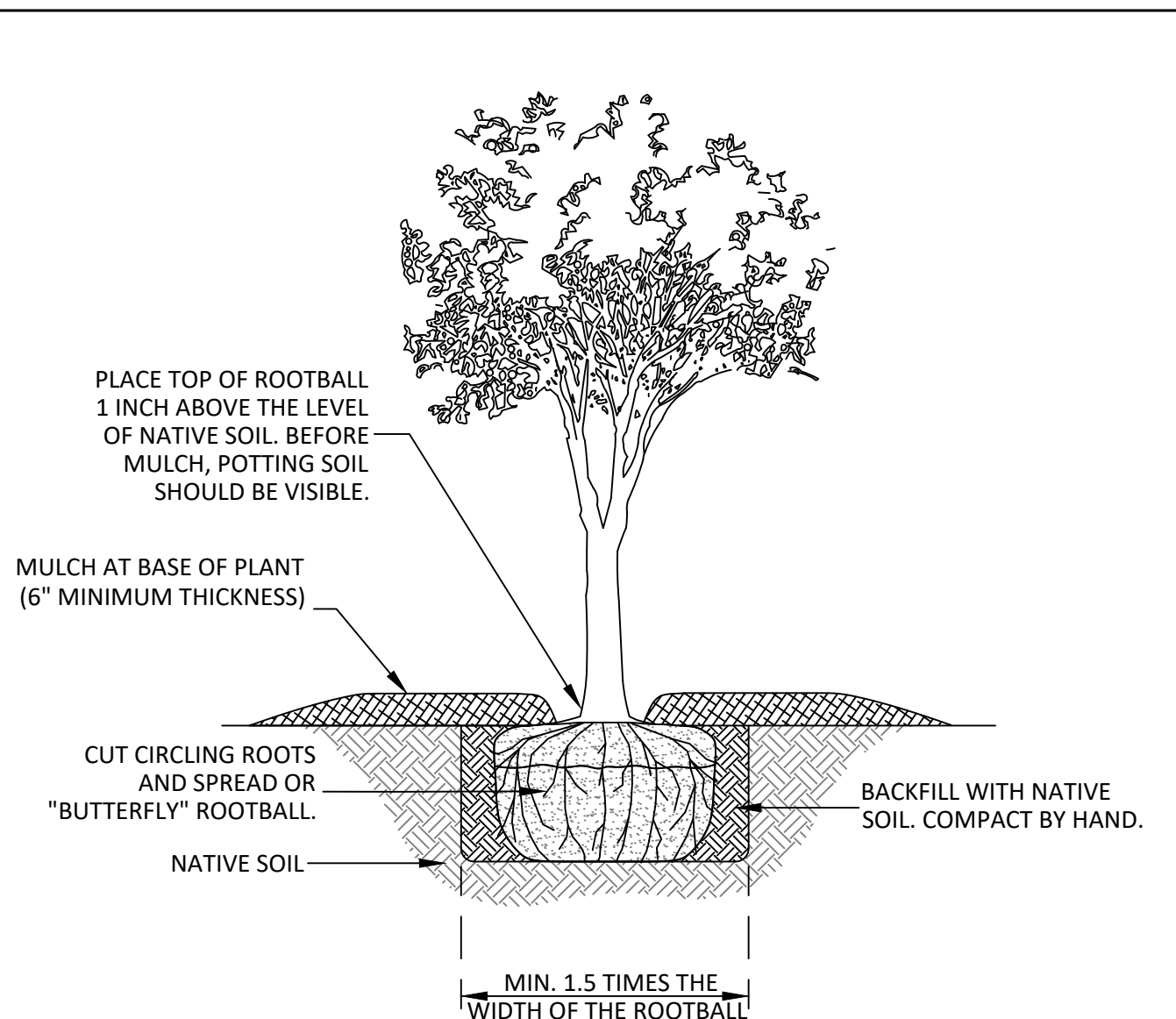
GENERAL MAINTENANCE SHALL INCLUDE:

- RE-APPLYING BARK MULCH TO MAINTAIN A 6" MINIMUM APPLIED THICKNESS - YEAR 1 ONLY.
- THE PRUNING OF INSTALLED PLANTS TO REMOVE DEAD WOOD AND PROMOTE VIGOROUS PLANT GROWTH AND PROPER FORM.
- THE REPLACEMENT OF PLANTS THAT APPEAR TO BE IN DISTRESS AND/OR DISEASED.
- THE REMOVAL OF TRASH, LITTER, AND/OR OTHER NON-DECOMPOSING DEBRIS.

GENERAL MAINTENANCE WORK SHALL OCCUR MONTHLY DURING THE GROWING SEASON AND/OR AT A FREQUENCY OTHERWISE NECESSARY TO ENSURE THE SUCCESSFUL ESTABLISHMENT AND VIGOROUS GROWTH OF THE INSTALLED PLANTS.

TABLE 2-1: GOALS, OBJECTIVES, MONITORING SCHEDULE, & PERFORMANCE STANDARDS

GOAL	OBJECTIVE	SCHEDULE	PERFORMANCE STANDARDS
TO SUCCESSFULLY ENHANCE ON-SITE WETLAND AND BUFFER AREAS USING NATIVE PLANT SPECIES.	TO INSTALL AND SUCCESSFULLY ESTABLISH NATIVE PLANTINGS AS SHOWN ON THIS DRAWING.	AUGUST OR SEPTEMBER OF YEARS 1, 2, 3, 4, & 5 FOLLOWING PLANT INITIAL INSTALLATION	<ul style="list-style-type: none"> 100% SURVIVAL BY INSTALLED PLANT STOCK AFTER THE FIRST GROWING SEASON (YEAR 1). THIS STANDARD CAN BE MET THROUGH PLANT ESTABLISHMENT OR REPLANTING, AS NECESSARY, TO ACHIEVE THE REQUIRED PLANT NUMBERS. 85% SURVIVAL BY INSTALLED PLANT STOCK AFTER THE FIFTH GROWING SEASON (YEAR 5).



2 PLANT INSTALLATION DETAIL

NOT TO SCALE

GENERAL NOTES:

- WORK SHALL CONFORM TO ANY AND ALL APPLICABLE PERMITS AND/OR APPROVED CONSTRUCTION DRAWINGS.
- WORK SHALL BE COMPLETED BY PERSONS EXPERIENCED IN THE ENHANCEMENT WORK SHOWN ON THESE DRAWINGS.
- BEFORE THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING MUST BE HELD BETWEEN MERCER ISLAND, THE OWNER, AND THE PLAN DESIGNER.
- A COPY OF THESE APPROVED DRAWINGS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- SITE CONDITIONS MAY VARY BASED ON SEASON AND/OR TIME OF YEAR. THE CONSTRUCTION CONTRACTOR SHALL ACCOMMODATE REALIZED AND ANTICIPATED SITE CONDITIONS WHEN COMPLETING THE WORK SHOWN ON THESE DRAWINGS.

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CRITICAL AREA ENHANCEMENT PLAN
 - MI TREEHOUSE LLC -
 5637 EAST MERCER WAY
 MERCER ISLAND, WASHINGTON

811
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UTILITY LOCATIONS AND CHARACTERISTICS SHOWN ON THIS DRAWING, IF ANY, ARE BASED ON THE FIELD LOCATION OF THE APPARENT SURFACE EVIDENCE OF EXISTING STRUCTURES. THE UNDERGROUND RESULTS AND CONDITION OF BURIED UTILITIES HAS NOT BEEN VERIFIED OR CONFIRMED. ADDITIONAL UTILITY LOCATION AND MARKING MAY BE REQUIRED. FIELD CHECK VERY THOROUGHLY AND ADEQUATELY PROTECT ALL UTILITIES PRIOR TO THE START OF WORK.

NO.	DATE	NOTES
1.	09/08/15	ADDED STREAM
2.	10/21/15	REVISED PER CITY COMMENTS
3.	12/04/18	REVISED PER NEW SITE PLAN
4.	12/17/18	ADDED IMPACT SITE PLAN
5.	01/24/19	REVISED PLANTING PLAN
6.	01/25/19	ADDED MITIGATION PLAN NOTE
7.	10/30/19	REVISED PER NEW SITE PLAN
8.	12/02/20	REVISED PER NEW SITE PLAN
9.	10/06/22	REVISED MONITORING PLAN
10.	05/23/23	ADDED TREE REPLACEMENT PLAN
11.	06/23/23	REVISED PLANTING PLAN

DATE: 03/04/2015
 JOB NUMBER: 14-206

**Planting Plan,
 Notes, Details, &
 Monitoring Plan**